

**CITY OF PRESCOTT, WISCONSIN
MEETING NOTICE
PLANNING COMMISSION
MONDAY, NOVEMBER 7, 2016
6:30 P.M.
PRESCOTT MUNICIPAL BUILDING
800 BORNER ST., PRESCOTT, WI 54021
Website: prescottwi.org**

1. Call to order
2. Roll Call
3. Approve minutes for October 3, 2016
4. Update from EdgeBuilder/Glenbrook Lumber
5. Proposed brewery in C-1 zoning district
6. Site, grading, erosion control, utility, stormwater and building plan for Vista Croix project
7. Certified survey map for Eagle Ridge Business Park
8. Building Inspection report
9. Other Business
10. Adjourn

ACCESS TO THE MUNICIPAL BUILDING FOR THE DISABLED IS AVAILABLE THROUGH THE REAR PARKING LOT ENTRANCE. ALL THOSE WITH SPECIAL NEEDS SHOULD CALL CITY HALL OFFICES (262-5544) IF ASSISTANCE IS REQUIRED.

CITY OF PRESCOTT, WISCONSIN

OCTOBER 3, 2016 PLAN COMMISSION MEETING MINUTES

Pursuant to due call and notice thereof, a meeting of the Plan Commission was held Monday, October 3, 2016 800 Borner St., Prescott, WI 54021.

Call to order/Roll Call: Mayor Hovel called the meeting to order at 6:30 p.m. Commissioners present were Steve Eggers, Jack Hoschette, Todd Dolan, Kyle Warp and Lothar Nawrocki. Connie Wenzel was excused. City Administrator Jayne Brand represented staff.

Nawrocki/Eggers motion to approve minutes for July 8, 2016 passed without a negative voice vote.

Eggers/Nawrocki motion to open public hearing special use permit for property owned by Greg Harris for applicant Prescott Area Food Pantry, Inc for future construction of a food pantry, convenience/thrift store, farmers market, gardens, bingo area with concession and garage or shed for storage of garden and snow removal equipment per City code of ordinances chapter 635 passed without a negative voice vote.

Ray Hamilton 368 Wacota Street stated he is not against the food shelf but is against the area it is proposed to be built. He stated Wacota Street is 24 feet wide and with the proposed location and all of the proposed uses the street would have a lot of traffic congestion. Hamilton asked if there was any way possible the driveway could come off of highway 35. Hamilton reviewed the list of special uses for the zoning district and stated he did not feel this project fit into the special uses. Hamilton stated he feels the building is too large at 60 X 104. Hamilton stated there is a day care already on Washington Street and he felt this project would create additional traffic problems.

Coni Gray – 940 Washington Street stated she echo Mr. Hamilton's sentiments. Gray stated zoning is there for a reason and they would not like to see their neighborhood have the same issues as the Borner Farms neighbors. Gray stated the makeup of the neighborhood had changed and there are many children now in the neighborhood. Gray also stated she was under the understanding this area had been used as a landfill and what would be done with that material. Gray also asked for a traffic study to be done.

Commissioner Kyle Warp stated he had the same concerns especially with traffic.

Connie Winkler 114 Broad Street questioned why they would need such a larger building and asked who was going to run the larger area. Winkler felt there would be a greater need for more volunteers.

Julie Lubich 481 Elm Street stated there would be more accidents. Lubich also questioned the need for a farmers market when the one they had at Freedom Park had failed.

Royce Ervin renter at 368 Wacota asked if the street would be done and if there would be curb and gutter. Ervin also commented on if there were items which were dropped which could not be used there would always be garbage.

Ray Hamilton stated his fear is the size of the building and what would happen if the project didn't work out. Hamilton also asked for a business plan.

Commissioner Steve Eggers asked City Administrator Jayne Brand her thoughts on the project. Brand stated the food pantry has been looking for a spot for a period of time. In the commercial districts the cost of the buildings and land has been very high so when this property came it was within the price

they could afford. Brand stated they had originally asked for a rezoning to highway commercial but felt that was not in the best interest of the neighborhood should the food pantry project not come together. Brand stated she felt the food pantry is a community center activity and asked them to complete the application with all the activities which would be happening on the property.

Mayor Hovel stated he would disagree with the store and bingo and would want them to come back with a different plan for just the food pantry.

Commissioner Steve Eggers stated the intersection on highway 35 is dangerous and could get a lot worse. He agreed the street width on Wacota was not wide enough.

Commission Kyle Warp asked if they could up with a better timeline for the entire project. Warp also questioned what would happen if they failed.

Colleen Winkler asked about parking for the project.

Raymond Hamilton asked about the type of the building. He was told it would be a metal building but there would need to be an improved façade.

Eggers/Warp motion to close the public hearing passed without a negative voice vote.

Eggers/Nawrocki motion to recommend denial of the special use permit for Prescott Area Food Pantry but they could submit another plan for just the food pantry with more details and a timeline passed without a negative voice vote.

The Commission reviewed the bicycle/pedestrian plan which included a proposed trail from downtown area to Freedom Park. Mayor Hovel a plan which includes this trail is needed as we write grants. Commission Steve Eggers stated he would like to see the trail on the riverside of the street. If not on the riverside have the trail on a raised elevation. **Eggers/Warp motion to update the bicycle pedestrian plan with a change on the map at Ash and Flora to change from existing sidewalk to proposed sidewalk passed without a negative voice vote.**

Mayor Hovel discussed with the Commission the establishment of parking improvement fund. The fund would be for the downtown area. If a business would expand or build and could not provide the number of parking stalls needed for the expansion or build they would be charged a fee to cover those parking stalls not provided. Recommendation was to move this item to the ordinance committee.

Eggers/Naworcki motion to approve September building report passed without a negative voice vote.

Nawrocki/Eggers motion to adjourn passed without a negative voice vote.

Respectfully Submitted,

Jayne M. Brand
City Administrator

City of Prescott, WI
Tuesday, November 1, 2016

Chapter 635. Zoning

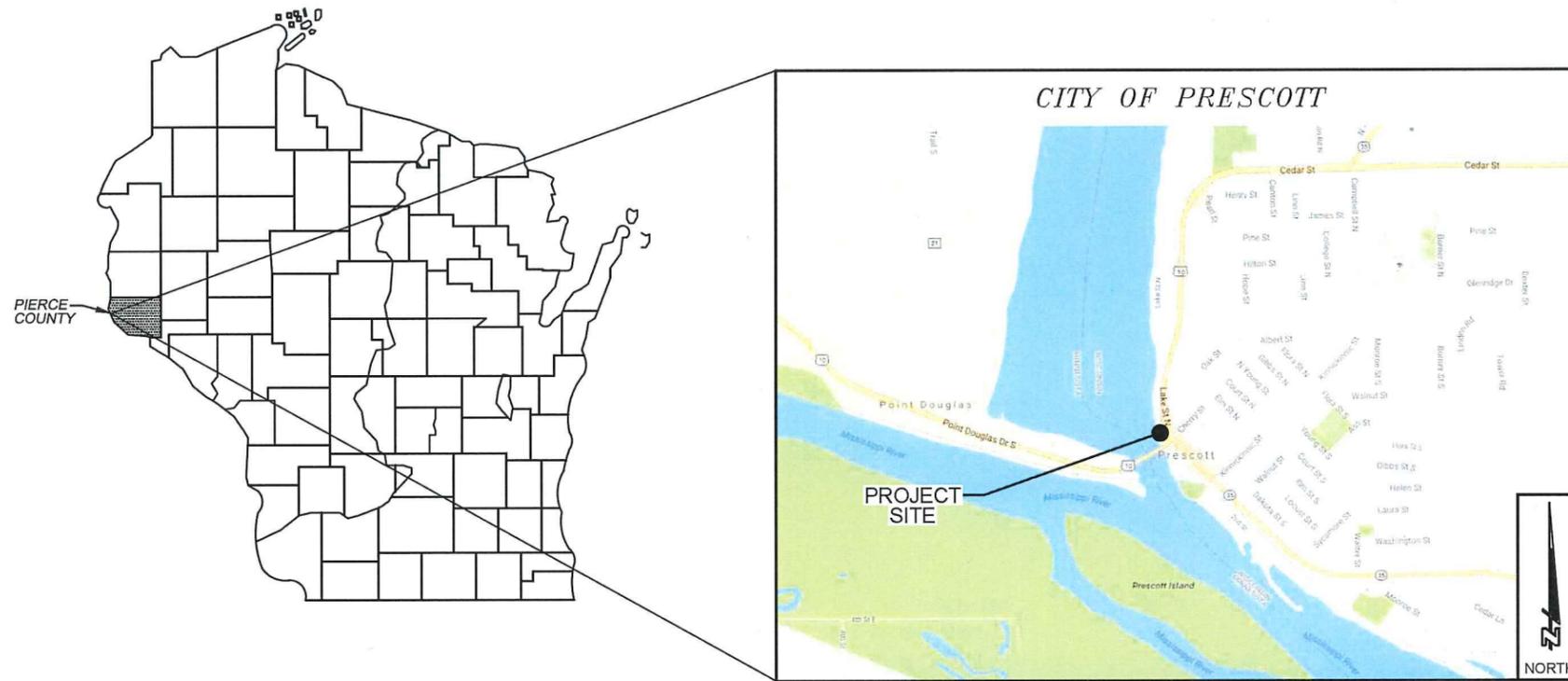
Article III. Zoning Districts

§ 635-23. Central Commercial District C-1.

- A. Purpose. The Central Commercial District is established to delineate areas appropriate for commercial uses in and near the central business district or areas of similar compact development served or readily serviceable by public sewer and water.
- B. Principal permitted uses. Business services, such as bakeries, barber shops, bars, beauty shops, clinics, clothing stores, clubs, drugstores, eating and drinking establishments, fish markets, florists, food lockers, fruit and vegetable stores, gas stations, gift stores, grocery stores, hardware stores, hotels, hobby shops, laundries, lodges, meat markets, motels, inns, music stores, office supplies, optical stores, packaged beverage stores, places of entertainment, professional, governmental and business offices, retail stores, finance, real estate services, personal service establishments and funeral homes, the preceding by way of illustration and not exclusion.
- C. Accessory uses. Dwelling units as a part of the principal building not to exceed 50% of the usable floor area, parking areas and garage. Dwelling unit shall be on a floor other than the main floor.
- D. Conditional uses.
 - (1) Residential buildings as a principal use.
 - (2) Structures or alteration of natural terrain on slopes of 20% or greater.
- E. Special uses.
 - (1) Drive-in establishment for eating and drinking.
 - (2) Other uses not specifically permitted, but similar in character to principal permitted uses.
- F. Prohibited uses. Junkyards and salvage yards.
- G. Minimum lot width: 25 feet for fireproof construction, 45 feet for non-fireproof construction.
- H. Minimum lot depth: 100 feet.
- I. Minimum yards.
 - (1) Front: none beyond City right-of-way.
 - (2) Rear: 25 feet.
 - (3) Side: none for fireproof construction, 10 feet for non-fireproof construction.
- J. Maximum building height: 35 feet.

- K. Percent slope. No structures or alteration of natural terrain shall be permitted on slopes of 20% or greater, except as a conditional use.
- L. Parking and loading requirements. See Article **VI**.
- M. Performance standards. All uses of land, water and structures in this district must also comply with Article **VIII**.
- N. Modifications. Requirements stipulated above may be modified in accordance with § **635-11**.

VISTA CROIX RIVERBOAT PROPERTIES, LLC CITY OF PRESCOTT, PIERCE COUNTY, WISCONSIN



CONVENTIONAL SYMBOLS

	PROPERTY LINE/ R.O.W.
	EXISTING FENCE
	EX. CONCRETE CURB & GUTTER
	EXISTING SANITARY SEWER
	EXISTING STORM SEWER
	EXISTING WATERMAIN
	PROPOSED BUILDING
	PROPOSED CONCRETE SURFACE
	PROPOSED BITUMINOUS
	PROPOSED RETAINING WALL
	PROPOSED 30" BARRIER CURB & GUTTER
	PROPOSED SANITARY SEWER SERVICE
	PROPOSED STORM SEWER
	PROPOSED WATER SERVICE

LOCATION MAP

N.T.S.

CONTACTS	
OWNER BRUCE LENZEN 106 BUCKEYE ST., SUITE 202 HUDSON, WI 54016	PROJECT ARCHITECT HAF ARCHITECTS 233 SOUTH MAIN ST. STILLWATER, MN 55082 651-351-1760
PROJECT ENGINEER/SURVEYOR AUTH CONSULTING & ASSOCIATES 2920 ENLOE ST., SUITE 101 HUDSON, WI 54016 715-381-5277	DIGGERS HOTLINE 1-800-242-8511



GENERAL CONSTRUCTION NOTES

- CONTRACTOR SHALL NOTIFY UTILITIES AND HAVE ALL UTILITIES LOCATED PRIOR TO ANY EXCAVATION.
- CONTRACTOR SHALL SALVAGE AND REPLACE TOPSOIL IN ALL DISTURBED AREAS.
- NO TREES OR SHRUBS TO BE REMOVED WITHOUT THE PRIOR APPROVAL OF THE OWNER.
- CONTRACTOR SHALL MAINTAIN TRAFFIC ACCESSIBILITY ALONG PROJECT.
- SALVAGED MATERIALS TO BECOME PROPERTY OF THE OWNER.
- CONTRACTOR SHALL MECHANICALLY COMPACT ALL TRENCHES UNDER ALL PAVED, CONCRETE, GRAVEL AND BUILDING PAD AREAS.
- ALL TOPSOIL, ORGANIC AND UNSUITABLE MATERIAL TO BE REMOVED BEFORE FILL MATERIAL IS PLACED. NO ORGANIC, UNSUITABLE OR FROZEN MATERIAL TO BE PLACED IN FILL AREAS. ALL FILL MATERIAL AND ENGINEERED FILL TO BE MECHANICALLY COMPACTED AS RECOMMENDED BY THE GEOTECHNICAL REPORT PROVIDED BY BRAUN INTERTEC CORPORATION, DATED FEBRUARY 23, 2016.
- APRON ENDWALL REQUIRED ON ALL END OF STORM SEWER. PIPE LENGTH INCLUDE APRON ENDWALL.
- CONTRACTOR TO OBTAIN PERMISSION/PERMIT FROM THE CITY AND WISCONSIN DEPARTMENT OF TRANSPORTATION (D.O.T.) TO WORK IN RIGHT-OF-WAY PRIOR TO ANY WORK BEING PERFORMED WITHIN THE PUBLIC RIGHT-OF-WAY. ANY REQUIRED LANE CLOSURES OR TRAFFIC CONTROL SIGNAGE IS THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE COORDINATED WITH CITY AND D.O.T. STAFF, AS REQUIRED.

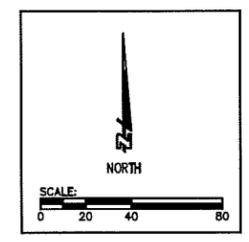
SHEET INDEX

SHEET	SHEET DESCRIPTION
C1.0	TITLE SHEET
C2.0	EXISTING SITE CONDITIONS AND DEMOLITION PLAN
C3.0	SITE PLAN
C4.0	GRADING PLAN
C4.1	SITE & GRADING PLAN - D.O.T./CITY PROPERTY
C5.0	EROSION CONTROL PLAN
C6.0	UTILITY PLAN
C6.1	UTILITY PLAN - D.O.T./CITY PROPERTY
C7.0-C7.5	DETAILS

DRAWING PHASE:		DRAWN BY: ZPF	DATE: 08/16/16	DATE: 10/26/16
OWNER REVIEW	AGENCY REVIEW	CHECKED BY: MDH	DWG FILE: C1.0Title	RELEASED FOR REVIEW ZPF
X	X		FOR CONSTRUCTION	REVISION DESCRIPTION:
			AS-BUILT DOCUMENT	JOB NUMBER: 5288-001
BRUCE LENZEN 2920 Enloe Street, East Suite 101 Hudson, WI 54016 Tel: 715-381-5277 authconsulting.com		Auth-Consulting/associates S&T Land Surveying a division of A/Ca		
PROJECT: VISTA CROIX RIVERBOAT PROPERTIES, LLC CITY OF PRESCOTT, WISCONSIN		SHEET NO. C1.0		
		TITLE SHEET		

Contours in Lots 6 and 7 are from Pierce County LIDAR data. Elevation 680 was adjusted to better fit the horizontal separation between the edge of water and Elevation 682.

Lake St. Croix/St. Croix River
Water Elevations: 678.8 on April 1, 2016 (NWD88 datum)



LEGEND	
	PROPERTY LINE/R.O.W.
	EXISTING 10FT CONTOURS
	EXISTING 2FT CONTOURS
	EX. 1 1/4" o.d. IRON PIPE, FOUND
	EX. 2 3/8" o.d. IRON PIPE, FOUND
	EX. RAILROAD SPIKE, FOUND
	EX. 4" DIAMETER ALUMINUM CAP, FOUND
	EX. 1 1/4" (o.d.) x 18" IRON PIPE WEIGHING 1.68 LBS./LINEAR FOOT, SET
	EX. MAGNETIC SURVEY NAIL, SET
	EX. LIGHT POLE
	EX. OVERHEAD UTILITY LINE
	EX. UTILITY POLE
	EX. UTILITY MANHOLE
	EX. SANITARY SEWER MANHOLE
	EX. GATE VALVE OR WATER SHUTOFF
	EX. STORM SEWER INLET
	EX. CONCRETE CURB & GUTTER
	EX. EDGE OF IMPERVIOUS SURFACE
	EXISTING UNDERGROUND GAS LINE
	EXISTING UNDERGROUND ELECTRIC LINE
	EXISTING SANITARY SEWER
	EXISTING STORM SEWER
	EXISTING WATERMAIN SEWER
	EXISTING PAVEMENT TO BE REMOVED
	EXISTING CONCRETE TO BE REMOVED
	EXISTING RETAINING WALL TO BE REMOVED

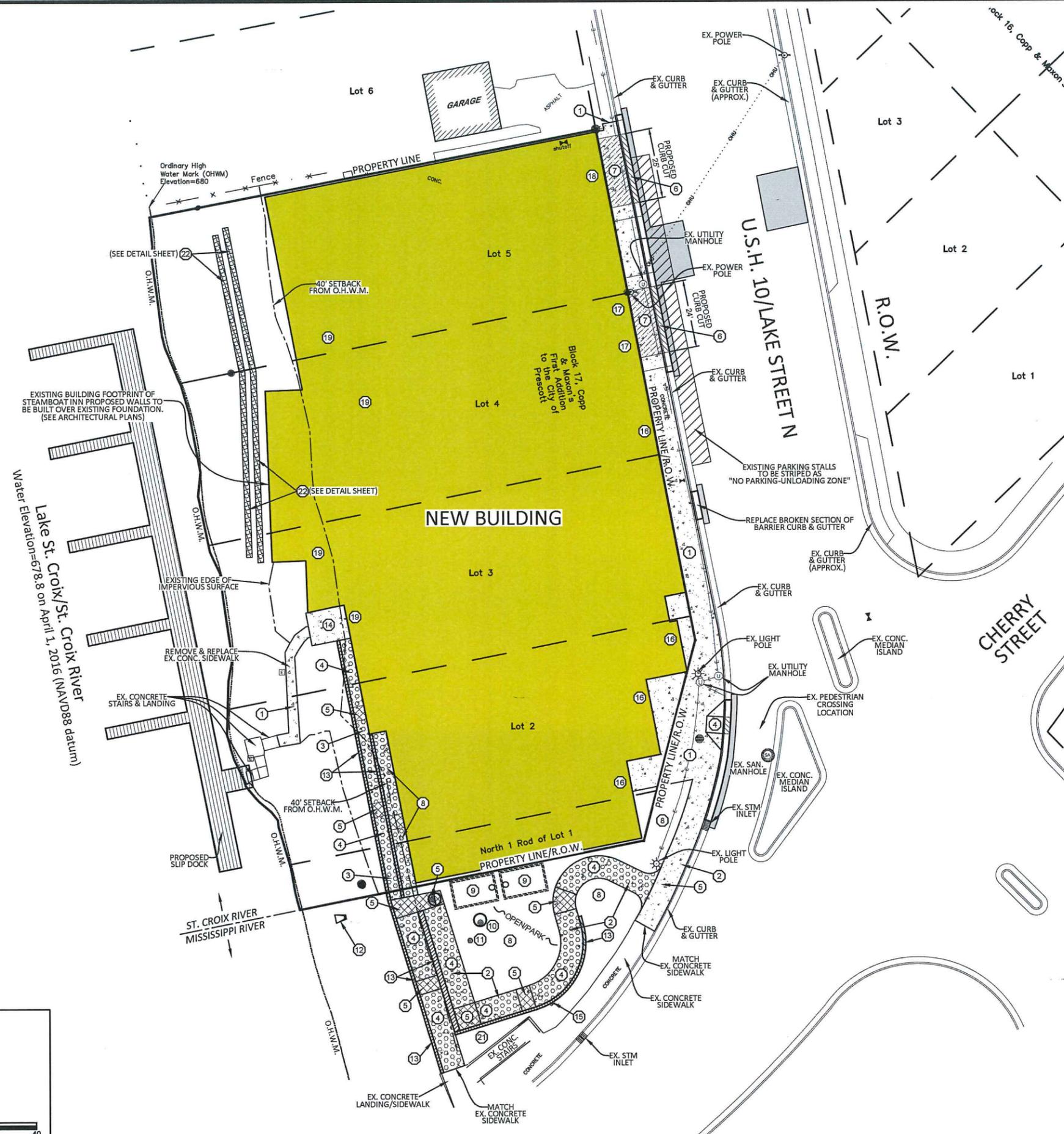
- GENERAL CONSTRUCTION NOTES**
- CONTRACTOR SHALL NOTIFY UTILITIES AND HAVE ALL UTILITIES LOCATED PRIOR TO ANY EXCAVATION OR DEMOLITION ACTIVITIES.
 - EROSION CONTROL TO BE IN PLACE BEFORE BEGINNING CONSTRUCTION OR DEMOLITION AND CONTINUOUSLY MAINTAINED.
 - CONTRACTOR TO COORDINATE RELOCATION OF ANY SMALL UTILITIES, AS NECESSARY.
 - CONTRACTOR SHALL SALVAGE AND REPLACE TOPSOIL IN ALL DISTURBED AREAS.
 - NO TREES OR SHRUBS TO BE REMOVED WITHOUT THE PRIOR APPROVAL OF THE OWNER.
 - CONTRACTOR SHALL MAINTAIN TRAFFIC ACCESSIBILITY ALONG PROJECT.
 - SALVAGED MATERIALS TO BE REMOVED FROM THE SITE AND PROPERLY DISPOSED OF BY THE CONTRACTOR.
 - CONTRACTOR SHALL MECHANICALLY COMPACT ALL TRENCHES UNDER ALL PAVED, CONCRETE, GRAVEL AND BUILDING AREAS.
 - ANY REQUIRED TRAFFIC CONTROL SIGNAGE AND/OR DETOUR PLANS IS THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE COORDINATED WITH CITY AND D.O.T. STAFF, AS REQUIRED.
 - ALL TOPSOIL, ORGANIC, & UNSUITABLE MATERIAL TO BE REMOVED BEFORE FILL MATERIAL IS PLACED. NO ORGANIC, UNSUITABLE, OR FROZEN MATERIALS TO BE PLACED IN FILL AREAS. ALL FILL MATERIAL & ENGINEERED FILL TO BE MECHANICALLY COMPACTED AS RECOMMENDED BY THE GEOTECHNICAL REPORT PROVIDED BY BRAUN INTERTEC CORPORATION, DATED FEBRUARY 23, 2016.

EXISTING SITE CONDITION NOTE

EXISTING CONDITIONS SHOWN ARE BASED ON TOPOGRAPHY INFORMATION PROVIDED BY OGDEN ENGINEERING CO. WITH SUPPLEMENTAL INFORMATION PROVIDED BY THE CITY OF PRESCOTT AND AUTH CONSULTING & ASSOCIATES. CONTRACTOR TO FIELD VERIFY ALL EXISTING SITE CONDITIONS FOR ACCURACY PRIOR TO ANY DEMOLITION, EXCAVATION, OR CONSTRUCTION ACTIVITIES COMMENCING.

PROJECT:	VISTA CROIX RIVERBOAT PROPERTIES, LLC
CITY OF PRESCOTT, WISCONSIN	
EXISTING SITE CONDITIONS & DEMOLITION PLAN	
SHEET NO.	C2.0
DRAWING PHASE:	DRAWN BY: ZPF
OWNER REVIEW	CHECKED BY: MDH
AGENCY REVIEW	DATE: 08/16/16
BID DOCUMENT	DWG FILE: C2.0-ExSite
FOR CONSTRUCTION	REF FILE: 5288-001.dwg
AS-BUILT DOCUMENT	JOB NUMBER: 5288-001
RELEASED FOR REVIEW	ZPF 10/26/16
REVISION DESCRIPTION:	NAME: DATE:

AUTH CONSULTING & ASSOCIATES
 406 Technology Drive East
 Suite A
 Menomonie, WI 54751
 Tel: 715-232-5400
 Fax: 715-232-5277
 authconsulting.com
 AUTH CONSULTING & ASSOCIATES
 2820 Main Street
 Suite 101
 Hudson, WI 54616
 Tel: 715-381-3277
 authconsulting.com



LEGEND

—	PROPERTY LINE/R.O.W.		PROPOSED BUILDING
●	EX. 1 1/4" o.d. IRON PIPE, FOUND		PROPOSED CONCRETE SURFACE
●	EX. 2 3/8" o.d. IRON PIPE, FOUND		PROPOSED BITUMINOUS
⊗	EX. RAILROAD SPIKE, FOUND		PROPOSED RETAINING WALL
⊙	EX. 4" DIAMETER ALUMINUM CAP, FOUND		30" DRIVE-OVER CURB & GUTTER
○	EX. 1 1/4" (o.d.) x 18" IRON PIPE WEIGHING 1.68 LBS./LINEAR FOOT, SET		30" BARRIER CURB & GUTTER
⊙	EX. MAGNETIC SURVEY NAIL, SET		PROPOSED ADA RAMP
☀	EX. LIGHT POLE		PROPOSED ADA LANDING
—	EX. OVERHEAD UTILITY LINE		
—	EX. UTILITY POLE		
⊙	EX. UTILITY MANHOLE		
⊙	EX. SANITARY SEWER MANHOLE		
⊙	EX. GATE VALVE OR WATER SHUTOFF		
⊙	EX. STORM SEWER INLET		
—	EX. CONCRETE CURB & GUTTER		
—	EX. EDGE OF IMPERVIOUS SURFACE		

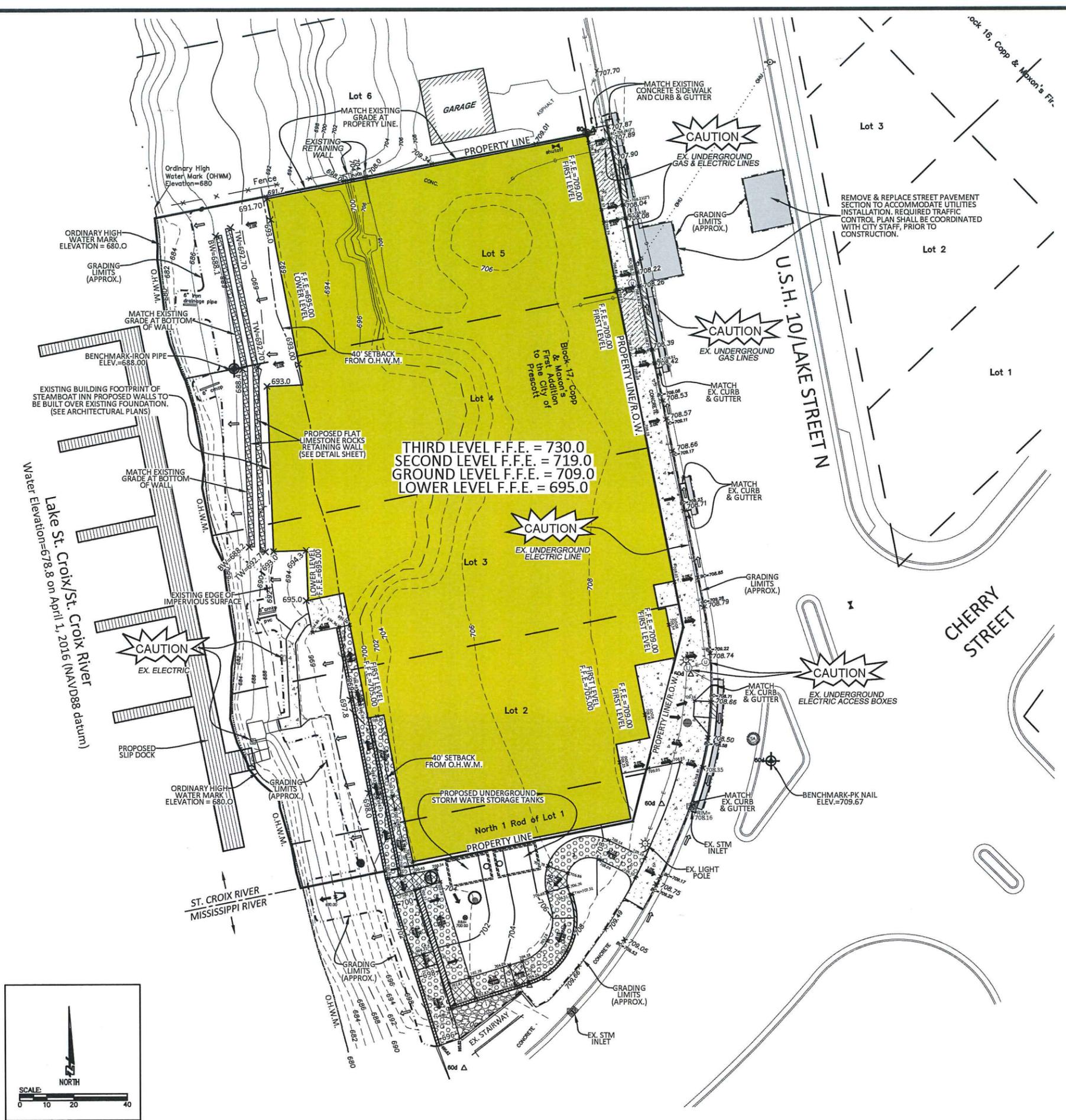
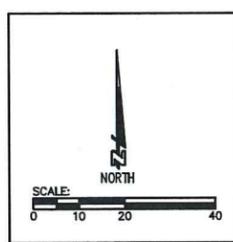
- ### GENERAL SITE NOTES
- CONTRACTOR TO OBTAIN PERMISSION/PERMIT FROM THE CITY & WISCONSIN DEPARTMENT OF TRANSPORTATION (D.O.T.) TO WORK IN RIGHT-OF-WAY PRIOR TO ANY WORK BEING PERFORMED WITHIN THE PUBLIC RIGHT-OF-WAY. ANY REQUIRED LANE CLOSURES OR TRAFFIC CONTROL SIGNAGE/ETOUR PLANS IS THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE COORDINATED WITH CITY & D.O.T. STAFF, AS REQUIRED.
 - CONTRACTOR TO FIELD VERIFY AND LOCATE ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
 - CONTRACTOR TO COORDINATE RELOCATION OF ANY SMALL UTILITIES, AS NECESSARY.
 - CONTRACTOR SHALL MAINTAIN TRAFFIC ACCESSIBILITY ALONG THE PROJECT.
 - NO TREES OR SHRUBS ARE TO BE REMOVED WITHOUT THE PRIOR APPROVAL OF THE OWNER.

- ### ADA ACCESSIBILITY NOTES
- ACCESSIBLE ROUTE NOT TO EXCEED 1:20 (5%) SLOPE, WITH 1:48 MAX. CROSS SLOPE.
 - ACCESSIBLE RAMPS NOT TO EXCEED 1:12 (8.3%) SLOPE, WITH 1:48 MAX. CROSS SLOPE
 - HAND RAILING TO BE ADDED ALONG ADA RAMPED SIDEWALK AS REQUIRED.

SHEET KEY

1	CONCRETE SIDEWALK
2	8' WIDE CONCRETE SIDEWALK
3	4' WIDE CONCRETE SIDEWALK
4	ADA PEDESTRIAN CONCRETE RAMP (1:12 MAX. SLOPE)
5	ADA PEDESTRIAN RAMP LANDING
6	30" DRIVE-OVER CONCRETE CURB & GUTTER
7	CONCRETE SIDEWALK W/ VEHICLE TRAFFIC
8	LANDSCAPE AREA
9	BUILDING STORM WATER HOLDING TANK
10	IRRIGATION PUMP MANHOLE
11	STORM INLET/MANHOLE
12	STORM OUTFALL
13	RETAINING WALL (BY OTHERS)
14	PATIO
15	FLAG POLE LOCATION
16	BUILDING ENTRANCE/EXIT DOOR (FIRST LEVEL-GROUND)
17	BUILDING OVERHEAD DOORS (FIRST LEVEL-GROUND)
18	VEHICLE PARKING ACCESS LOCATION (FIRST LEVEL-GROUND)
19	BUILDING ENTRANCE/EXIT DOOR (LOWER LEVEL-GROUND)
20	CONCRETE STAIRWAY
21	RIP-RAP SLOPE
22	FLAT LIMESTONE ROCK RETAINING WALL (BY OTHERS)

PROJECT: VISTA CROIX RIVERBOAT PROPERTIES, LLC CITY OF PRESCOTT, WISCONSIN	DRAWING PHASE: OWNER REVIEW AGENCY REVIEW BID DOCUMENT FOR CONSTRUCTION AS-BUILT DOCUMENT	DRAWN BY: ZPF CHECKED BY: MDH DATE: 07/29/16 DWG FILE: C3.0-Site REF FILE: 5288-001.dwg JOB NUMBER: 5288-001	RELEASED FOR REVIEW: ZPF 10/26/16 REVISION DESCRIPTION: NAME: _____ DATE: _____	BRANCH OFFICE: 2820 Babie Street Suite 101 Hudson, WI 54016 Tel 715-361-3277	HEADQUARTERS OFFICE: 408 Technology Drive East Suite A Menomonie, WI 54751 Tel 715-282-9490 Tel 715-361-3277 authconsulting.com	 Auth-Consulting/associates <small>Self Insured Retention a division of A.C.A.</small>	SITE PLAN
SHEET NO. C3.0							



LEGEND	
860	EXISTING 10FT CONTOURS
862	EXISTING 2FT CONTOURS
860	PROPOSED 10FT CONTOURS
862	PROPOSED 2FT CONTOURS
	PROPERTY LINE
	EXISTING HARD SURFACE EDGE
	APPROXIMATE GRADING LIMITS
	PROPOSED BUILDINGS
	PROPOSED CONCRETE AREA
	PROPOSED RETAINING WALL (BY OTHERS)
	EXISTING GRADE SPOT ELEVATIONS
	PROPOSED FINISHED GRADE SPOT ELEVATIONS (ALL CURB SPOT ELEVATION SHOWN ARE AT CURB FLOWLINE UNLESS OTHERWISE NOTED)
	EXISTING GRADE SURFACE DRAINAGE
	PROPOSED FINISHED GRADE SURFACE DRAINAGE
	BC = BACK OF CURB ELEVATION
	FFE = FINISHED FLOOR ELEVATION
	H.P. = HIGH POINT GRADE ELEVATION
	L.P. = LOW POINT GRADE ELEVATION
	TW = TOP OF WALL GRADE ELEVATION
	BW = BOTTOM OF WALL GRADE ELEVATION
	BENCHMARK

- ### GRADING NOTES
- CONTRACTOR SHALL NOTIFY UTILITIES AND HAVE ALL UTILITIES LOCATED PRIOR TO ANY CONSTRUCTION, EXCAVATION OR DEMOLITION ACTIVITIES COMMENCING.
 - CONTRACTOR TO COORDINATE WITH SMALL UTILITIES ALL REQUIRED UTILITY RELOCATION TO AVOID CONFLICTS WITH PROPOSED GRADING.
 - CONTRACTOR SHALL MECHANICALLY COMPACT ALL TRENCHES UNDER ALL PAVED, CONCRETE, GRAVEL, AND BUILDING PAD AREAS.
 - ALL TOPSOIL, ORGANIC, & UNSUITABLE MATERIAL TO BE REMOVED BEFORE FILL MATERIAL IS PLACED. NO ORGANIC, UNSUITABLE, OR FROZEN MATERIALS TO BE PLACED IN FILL AREAS. ALL FILL MATERIAL & ENGINEERED FILL TO BE MECHANICALLY COMPACTED AS RECOMMENDED BY THE GEOTECHNICAL REPORT PROVIDED BY BRAUN INTERTEC CORPORATION, DATED FEBRUARY 23, 2106.
 - ALL GRADES AND ELEVATIONS SHOWN ARE TO FINISHED GRADES, UNLESS NOTED OTHERWISE.
 - CONTRACTOR SHALL SALVAGE AND REPLACE TOPSOIL IN ALL DISTURBED AREAS.
 - ALL EXCESS & UNSUITABLE MATERIALS TO BE REMOVED FROM THE SITE BY SITE CONTRACTOR AS REQUIRED.
 - CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR DETERMINING ALL EARTHWORK QUANTITIES BASED ON THE EXISTING AND PROPOSED ELEVATIONS PROVIDED ON THE PLANS. ANY GEOTECHNICAL INVESTIGATIONS PROVIDED BY THE OWNER APPLY ONLY TO THOSE LOCATIONS THAT DATA WAS COLLECTED, AND MAY NOT BE INDICATIVE OF CONDITIONS ELSEWHERE ON THE SITE. THE CONTRACTOR IS RESPONSIBLE FOR COLLECTING ANY ADDITIONAL GEOTECHNICAL OR SURVEY DATA HE DEEMS NECESSARY TO COMPLETE AN ACCURATE ESTIMATE OF EARTHWORK QUANTITIES.
 - CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR BALANCING SITE MATERIALS. IF ONSITE EXCAVATION AND BORROW OPERATIONS DO NOT PROVIDE ENOUGH SUITABLE MATERIAL FOR FILL AREAS, THE CONTRACTOR SHALL COORDINATE AND PAY FOR EXCAVATION, TRANSPORT AND PLACEMENT OF IMPORTED MATERIAL MEETING THE SPECIFICATIONS OF THE CONTRACT DOCUMENTS. IF EXCAVATION RESULTS IN EXCESS MATERIALS, THE CONTRACTOR SHALL PROVIDE AND PAY FOR LOADING, TRANSPORT AND OFFSITE DISPOSAL OF EXCESS MATERIALS.
 - CONTRACTOR TO OBTAIN PERMISSION/PERMIT FROM THE CITY & WISCONSIN DEPARTMENT OF TRANSPORTATION (D.O.T.) TO WORK IN RIGHT-OF-WAY PRIOR TO ANY WORK BEING PERFORMED WITHIN THE PUBLIC RIGHT-OF-WAY. ANY REQUIRED LANE CLOSURES OR TRAFFIC CONTROL SIGNAGE/DETOUR PLANS IS THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE COORDINATED WITH CITY & D.O.T. STAFF, AS REQUIRED.

EXISTING SITE CONDITION NOTE

EXISTING CONDITIONS SHOWN ARE BASED ON TOPOGRAPHY INFORMATION PROVIDED BY OGDEN ENGINEERING, SUPPLEMENTAL INFORMATION PROVIDED BY THE CITY OF PRESCOTT, AND ADDITIONAL INFORMATION OBTAINED BY AUTH CONSULTING & ASSOCIATES. CONTRACTOR TO FIELD VERIFY ALL EXISTING SITE CONDITIONS FOR ACCURACY PRIOR TO ANY DEMOLITION, EXCAVATION, OR CONSTRUCTION ACTIVITIES COMMENCING.

DRAWN BY: ZPF	CHECKED BY: MDH	DATE: 06/16/16	DWG FILE: C4.0-Grading	REF FILE: 5288-001aca	JOB NUMBER: 5288-001	RELEASED FOR REVIEW: ZPF	DATE: 10/26/16
OWNER REVIEW	AGENCY REVIEW	BID DOCUMENT	FOR CONSTRUCTION	AS-BUILT DOCUMENT	REVISION DESCRIPTION:	NAME:	DATE:
X	X	X	X	X			

PROJECT: VISTA CROIX RIVERBOAT PROPERTIES, LLC
CITY OF PRESCOTT, WISCONSIN

SHEET NO.: C4.0

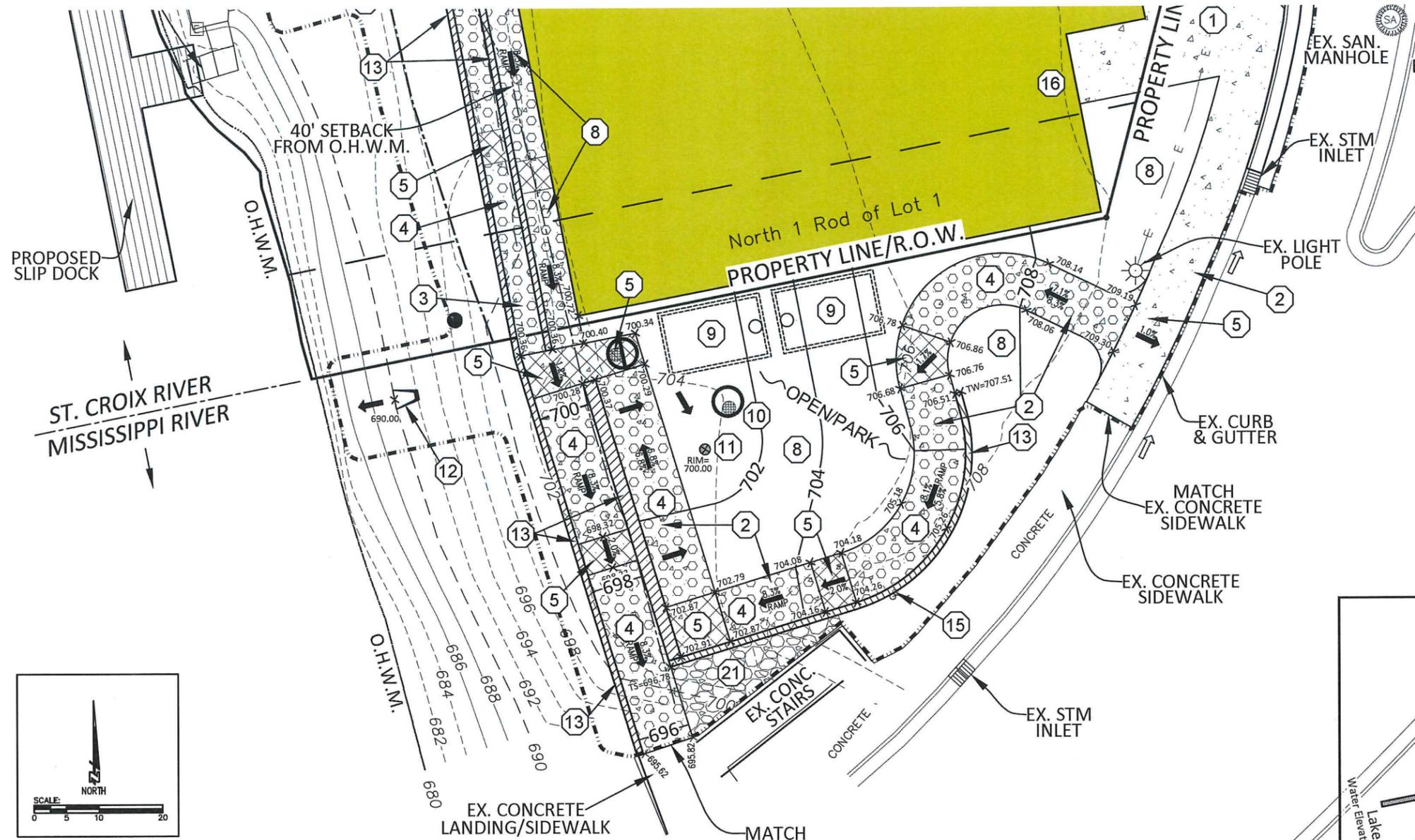
GRADING PLAN

COMPANY OFFICE: 408 Technology Drive East, Suite A, Menomonie, WI 54751, Tel: 715-232-9400

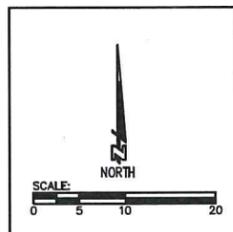
BRANCH OFFICE: 2820 Inland Street, Suite 101, Hudson, WI 54016, Tel: 715-981-8277

authconsulting.com

Auth-Consulting/associates
Serving land surveying & a division of A/C/A



SHEET KEY	
①	CONCRETE SIDEWALK
②	8' WIDE CONCRETE SIDEWALK
③	4' WIDE CONCRETE SIDEWALK
④	ADA PEDESTRIAN CONCRETE RAMP (1:12 MAX. SLOPE)
⑤	ADA PEDESTRIAN RAMP LANDING
⑥	30" DRIVE-OVER CONCRETE CURB & GUTTER
⑦	CONCRETE SIDEWALK W/ VEHICLE TRAFFIC
⑧	LANDSCAPE AREA
⑨	BUILDING STORM WATER HOLDING TANK
⑩	IRRIGATION PUMP MANHOLE
⑪	STORM INLET/MANHOLE
⑫	STORM OUTFALL
⑬	RETAINING WALL (BY OTHERS)
⑭	PATIO
⑮	FLAG POLE LOCATION
⑯	BUILDING ENTRANCE/EXIT DOOR (FIRST LEVEL-GROUND)
⑰	BUILDING OVERHEAD DOORS (FIRST LEVEL-GROUND)
⑱	VEHICLE PARKING ACCESS LOCATION (FIRST LEVEL-GROUND)
⑲	BUILDING ENTRANCE/EXIT DOOR (LOWER LEVEL-GROUND)
⑳	CONCRETE STAIRWAY
㉑	RIP-RAP SLOPE



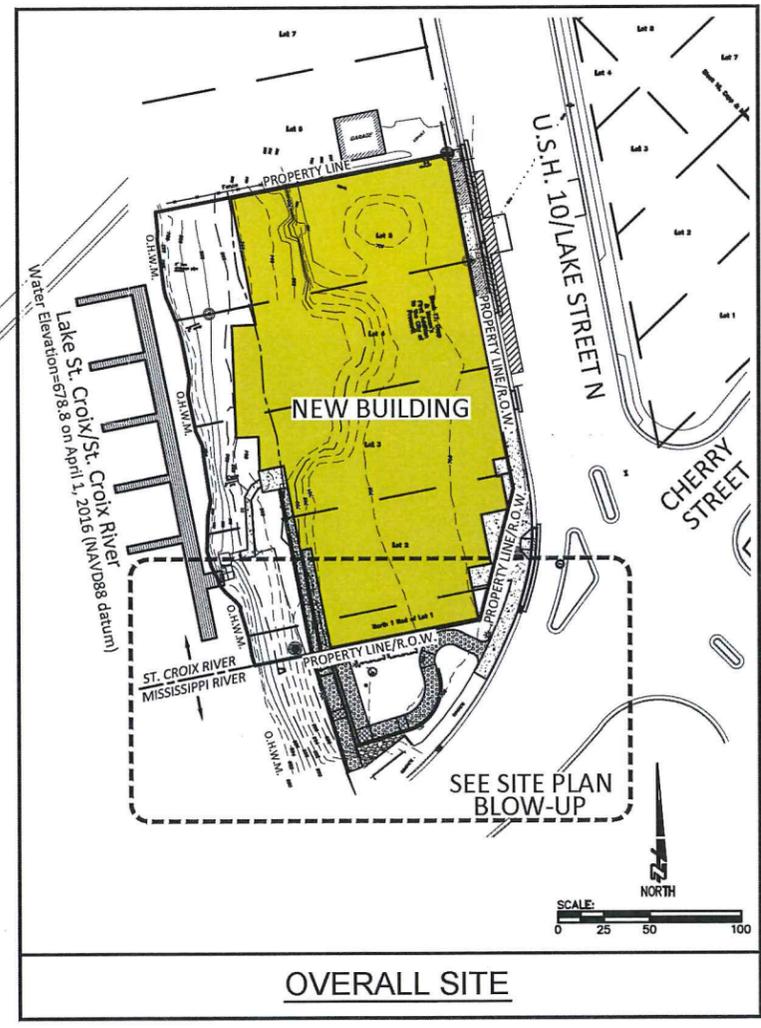
LEGEND	
	PROPERTY LINE/R.O.W.
	EXISTING 10FT CONTOUR
	EXISTING 2FT CONTOUR
	PROPOSED 10FT CONTOURS
	PROPOSED 2FT CONTOURS
	APPROXIMATE GRADING LIMITS
	EX. LIGHT POLE
	EX. UTILITY MANHOLE
	EX. SANITARY SEWER MANHOLE
	EX. GATE VALVE OR WATER SHUTOFF
	EX. STORM SEWER INLET
	EX. CONCRETE CURB & GUTTER
	EX. EDGE OF IMPERVIOUS SURFACE
	PROPOSED BUILDING
	PROPOSED CONCRETE SURFACE
	PROPOSED RETAINING WALL
	PROPOSED ADA RAMP
	PROPOSED ADA LANDING
	PROPOSED FINISHED GRADE SPOT ELEVATIONS (ALL CURB SPOT ELEVATION SHOWN ARE AT CURB FLOWLINE UNLESS OTHERWISE NOTED)
	PROPOSED FINISHED GRADE SURFACE DRAINAGE

- GENERAL SITE NOTES**
- CONTRACTOR TO OBTAIN PERMISSION/PERMIT FROM THE CITY & WISCONSIN DEPARTMENT OF TRANSPORTATION(D.O.T.) TO WORK IN RIGHT-OF-WAY PRIOR TO ANY WORK BEING PERFORMED WITHIN THE PUBLIC RIGHT-OF-WAY. ANY REQUIRED LANE CLOSURES OR TRAFFIC CONTROL SIGNAGE/DETOUR PLANS IS THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE COORDINATED WITH CITY & D.O.T. STAFF, AS REQUIRED.
 - CONTRACTOR TO FIELD VERIFY AND LOCATE ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
 - CONTRACTOR TO COORDINATE RELOCATION OF ANY SMALL UTILITIES, AS NECESSARY.
 - CONTRACTOR SHALL MAINTAIN TRAFFIC ACCESSIBILITY ALONG THE PROJECT.
 - NO TREES OR SHRUBS ARE TO BE REMOVED WITHOUT THE PRIOR APPROVAL OF THE OWNER.
 - SEE SHEET C4.0 FOR ADDITIONAL GRADING NOTES.

- ADA ACCESSIBILITY NOTES**
- ACCESSIBLE ROUTE NOT TO EXCEED 1:20 (5%) SLOPE, WITH 1:48 MAX. CROSS SLOPE.
 - ACCESSIBLE RAMPS NOT TO EXCEED 1:12 (8.3%) SLOPE, WITH 1:48 MAX. CROSS SLOPE.
 - HAND RAILING TO BE ADDED ALONG ADA RAMPED SIDEWALK AS REQUIRED.

EXISTING SITE CONDITION NOTE

EXISTING CONDITIONS SHOWN ARE BASED ON TOPOGRAPHY INFORMATION PROVIDED BY OGDEN ENGINEERING CO. WITH SUPPLEMENTAL INFORMATION PROVIDED BY THE CITY OF PRESCOTT AND AUTH CONSULTING & ASSOCIATES. CONTRACTOR TO FIELD VERIFY ALL EXISTING SITE CONDITIONS FOR ACCURACY PRIOR TO ANY DEMOLITION, EXCAVATION, OR CONSTRUCTION ACTIVITIES COMMENCING.



PROJECT:	VISTA CROIX RIVERBOAT PROPERTIES, LLC
CITY OF PRESCOTT, WISCONSIN	
SITE & GRADING PLAN - D.O.T. PROPERTY	
SHEET NO.	C4.1

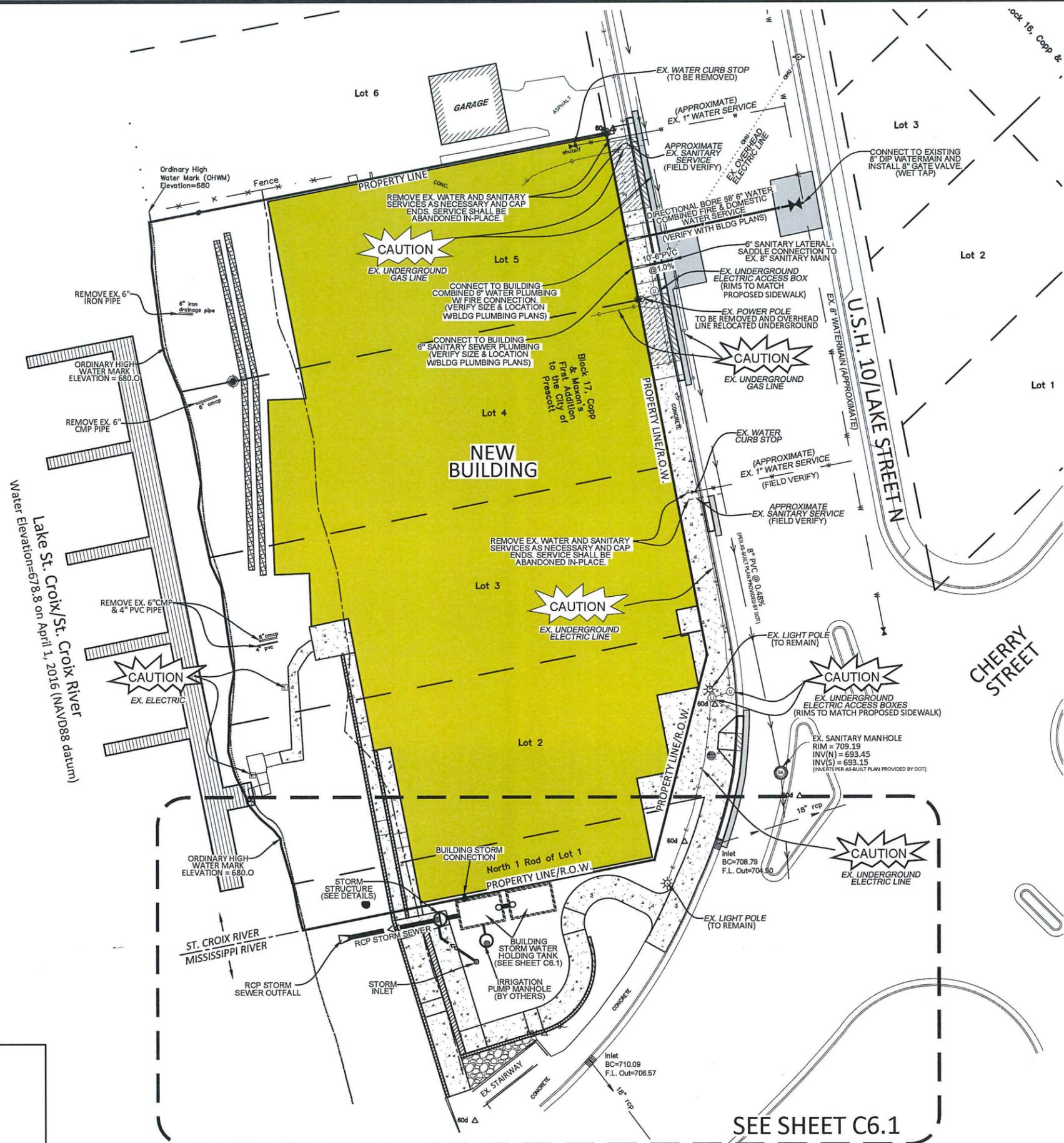
DRAWING PHASE:	OWNER REVIEW	DATE:	09.16.2016
	AGENCY REVIEW	DWG FILE:	C3.0-Site
	BID DOCUMENT	FOR CONSTRUCTION	REF FILE: 5288-001.dwg
	AS-BUILT DOCUMENT	JOB NUMBER:	5288-001

DRAWN BY:	ZPF
CHECKED BY:	MDH
DATE:	09.16.2016
DWG FILE:	C3.0-Site
FOR CONSTRUCTION	REF FILE: 5288-001.dwg
AS-BUILT DOCUMENT	JOB NUMBER: 5288-001
RELEASED FOR REVIEW	ZPF
REVISION DESCRIPTION:	(NAME)
	DATE:

BRANCH OFFICE
 2820 Baber Street
 Suite 101
 Hudson, WI 54016
 Tel 715-381-8277

CONTRACT OFFICE
 408 Technology Drive East
 Suite A
 Menomonie, WI 54751
 Tel 715-382-8480

A.C.A.
 Auth Consulting/associates
 Self-Insured Suretying a division of A/C/A



LEGEND

PROPERTY LINE/R.O.W.		PROPOSED BUILDING	
●	EX. 1 1/4" o.d. IRON PIPE, FOUND	[Yellow Shaded Area]	PROPOSED BUILDING
●	EX. 2 3/8" o.d. IRON PIPE, FOUND	[Dashed Outline]	PROPOSED BUILDING STORM WATER HOLDING TANK
⊗	EX. RAILROAD SPIKE, FOUND	[Circle with Center]	PROPOSED IRRIGATION PUMP MANHOLE
○	EX. 4" DIAMETER ALUMINUM CAP, FOUND	[Arrow]	PROPOSED STORM SEWER
○	EX. 1 1/4" (o.d.) x 18" IRON PIPE WEIGHING 1.88 LBS./LINEAR FOOT, SET	[Double Arrow]	PROPOSED SANITARY SEWER SERVICE
⊙	EX. MAGNETIC SURVEY NAIL, SET	[Line]	PROPOSED WATER SERVICE
⊙	EX. LIGHT POLE	[Dashed Line]	EXISTING SANITARY SEWER
⊙	EX. OVERHEAD UTILITY LINE	[Dashed Line]	EXISTING STORM SEWER
⊙	EX. UTILITY POLE	[Line]	EXISTING WATERMAIN
⊙	EX. UTILITY MANHOLE		
⊙	EX. SANITARY SEWER MANHOLE		
⊙	EX. GATE VALVE OR WATER SHUTOFF		
⊙	EX. STORM SEWER INLET		
⊙	EX. CONCRETE CURB & GUTTER		
⊙	EX. EDGE OF IMPERVIOUS SURFACE		

- ### GENERAL UTILITY NOTES
- CONTRACTOR TO FIELD VERIFY AND LOCATE ALL EXISTING UTILITIES PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION.
 - CONTRACTOR TO COORDINATE RELOCATION OF ANY SMALL UTILITIES, AS NECESSARY.
 - CONTRACTOR TO OBTAIN PERMISSION/PERMIT FROM THE CITY AND D.O.T. TO WORK IN RIGHT-OF-WAY PRIOR TO ANY WORK BEING PERFORMED WITHIN THE PUBLIC RIGHT-OF-WAY. ANY REQUIRED LANE CLOSURES OR TRAFFIC CONTROL SIGNAGE IS THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE COORDINATED WITH CITY AND D.O.T. STAFF, AS REQUIRED.
 - VERIFY SANITARY SERVICE AND WATER SERVICE CONNECTION POINTS AND SIZES WITH STATE APPROVED BUILDING PLUMBING PLANS, PRIOR TO ANY INSTALLATIONS.

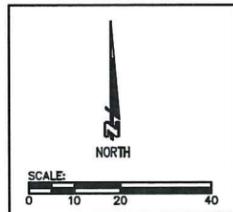
- ### SANITARY SEWER NOTES
- 6" SANITARY SEWER LATERAL TO BE INSTALLED AT A MIN OF 1.0%.
 - SANITARY SEWER LATERAL PIPE TO BE PVC SCHEDULE 40 PIPING.
 - VERIFY SANITARY SERVICE BUILDING CONNECTION LOCATION AND SIZE WITH STATE APPROVED BUILDING PLUMBING PLANS, PRIOR TO INSTALLING ANY SANITARY SERVICE.
 - SANITARY SEWER LATERAL SHALL BE INSTALLED WITH A GREEN 18 GAGE TRACER WIRE, PER SPS 382 REQUIREMENTS.
 - CONTRACTOR TO FIELD VERIFY/LOCATE AND UTILIZE THE EXISTING SANITARY SERVICE STUB FOR THE PROPOSED SANITARY SERVICE CONNECTION. CONTRACTOR TO FIELD VERIFY EXISTING SANITARY SEWER INVERT ELEVATION.

- ### WATER SERVICE NOTES
- MAINTAIN 8.0' MINIMUM COVER OVER WATER SERVICE LATERAL.
 - VERIFY WATER SERVICE BUILDING CONNECTION LOCATION AND SIZE WITH STATE APPROVED BUILDING PLUMBING PLANS, PRIOR TO INSTALLING ANY WATER SERVICE.
 - CONTRACTOR TO FIELD VERIFY/LOCATE AND UTILIZE THE EXISTING WATER SERVICE STUB FOR THE PROPOSED WATERMAIN SERVICE CONNECTION.
 - ALL JOINTS IN WATER LATERAL SHALL BE RESTRAINED. ALL BENDS IN THE WATER LATERAL SHALL BE BUTTRESSED.

- ### STORM SEWER NOTES
- ALL RCP STORM SEWER PIPING SHALL BE CLASS 3 PIPING OR APPROVED EQUIVALENT, UNLESS NOTED OTHERWISE.
 - ALL HDPE STORM SEWER SHALL BE DUAL WALL SMOOTH INTERIOR WITH WATERTIGHT JOINTS OR APPROVED EQUIVALENT, UNLESS NOTED OTHERWISE.
 - ALL PIPE LENGTHS INCLUDE APRON ENDWALLS.
 - ALL EXTERIOR STORM SEWER PIPE SHALL BE INSTALLED WITH A BROWN 18 GAGE TRACER WIRE, WHEN APPLICABLE PER SPS 382 REQUIREMENTS.

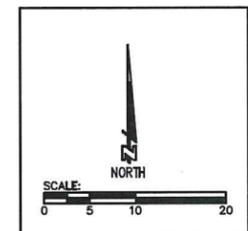
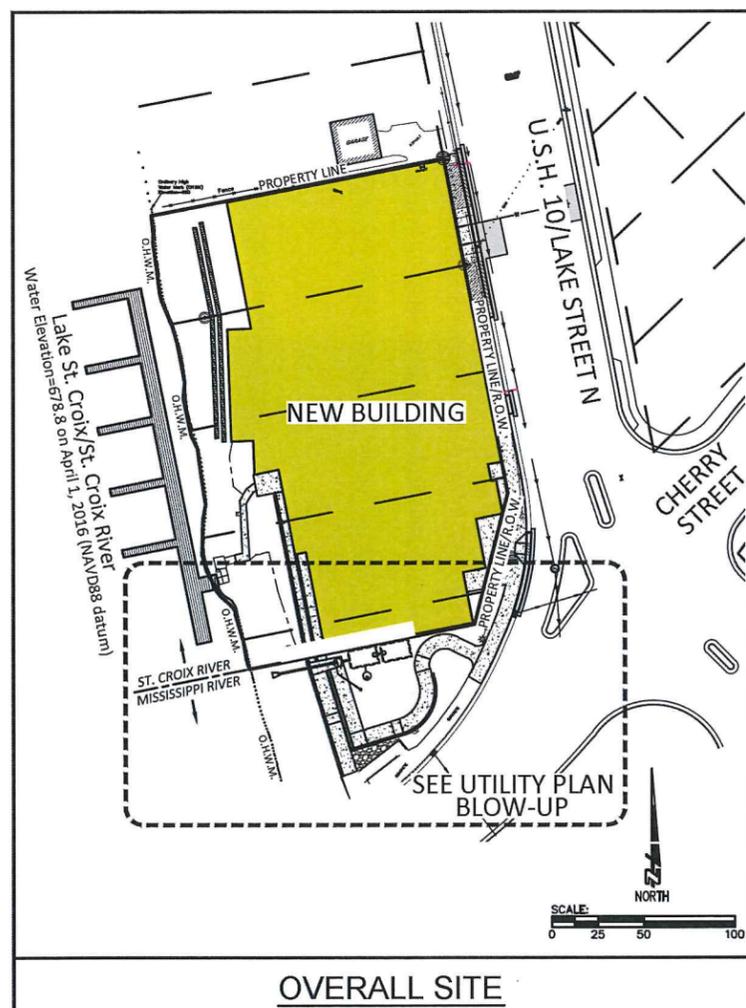
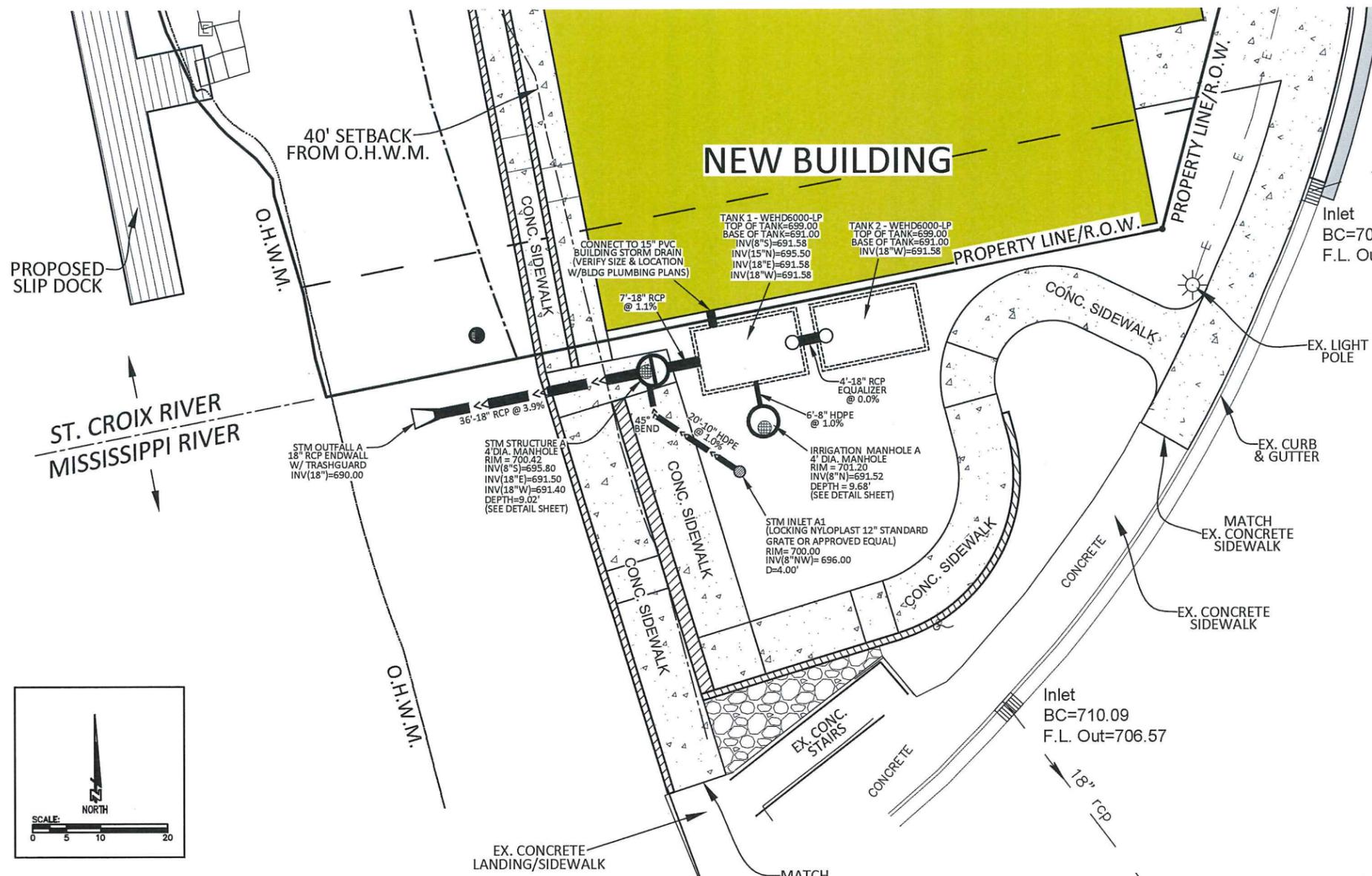
EXISTING SITE CONDITION NOTE

EXISTING SITE CONDITIONS SHOWN REFLECTS TOPOGRAPHY INFORMATION OBTAINED BY THE MINNESOTA GEOSPATIAL INFORMATION OFFICE IN 2011. CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS FOR ACCURACY PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION ACTIVITIES COMMENCING.



SEE SHEET C6.1

DRAWING PHASE:	DRAWN BY: ZPF	CHECKED BY: MDH	DATE: 08/16/16	DWS FILE: C6.0-UTR	REF FILE: 5288-001.dwg	JOB NUMBER: 5288-001	DATE: 10/26/16
OWNER REVIEW	AGENCY REVIEW	BID DOCUMENT	FOR CONSTRUCTION	AS-BUILT DOCUMENT	RELEASED FOR REVIEW	REVISION DESCRIPTION:	NAME:
X	X	X	X	X	X	X	X
Auth-Consulting/associates <small>Self Insured Retention a division of A/C/A</small>							
UTILITY PLAN							
VISTA CROIX RIVERBOAT PROPERTIES, LLC CITY OF PRESCOTT, WISCONSIN							
PROJECT: VISTA CROIX RIVERBOAT PROPERTIES, LLC SHEET NO. C6.0							



LEGEND	
	PROPERTY LINE/R.O.W.
	EXISTING SANITARY SEWER
	EXISTING STORM SEWER
	PROPOSED BUILDING
	PROPOSED BUILDING STORM WATER HOLDING TANK
	PROPOSED IRRIGATION PUMP MANHOLE
	PROPOSED STORM SEWER
	EX. 1 1/4" o.d. IRON PIPE, FOUND
	EX. 2 3/8" o.d. IRON PIPE, FOUND
	EX. RAILROAD SPIKE, FOUND
	EX. 4" DIAMETER ALUMINUM CAP, FOUND
	EX. 1 1/4" (o.d.) x 18" IRON PIPE WEIGHING 1.68 LBS./LINEAR FOOT, SET
	EX. MAGNETIC SURVEY NAIL, SET
	EX. LIGHT POLE
	EX. OVERHEAD UTILITY LINE
	EX. UTILITY POLE
	EX. UTILITY MANHOLE
	EX. SANITARY SEWER MANHOLE
	EX. GATE VALVE OR WATER SHUTOFF
	EX. STORM SEWER INLET
	EX. CONCRETE CURB & GUTTER
	EX. EDGE OF IMPERVIOUS SURFACE

GENERAL UTILITY NOTES

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- CONTRACTOR SHALL MAINTAIN TRAFFIC ACCESSIBILITY ALONG THE PROJECT.

STORM SEWER NOTES

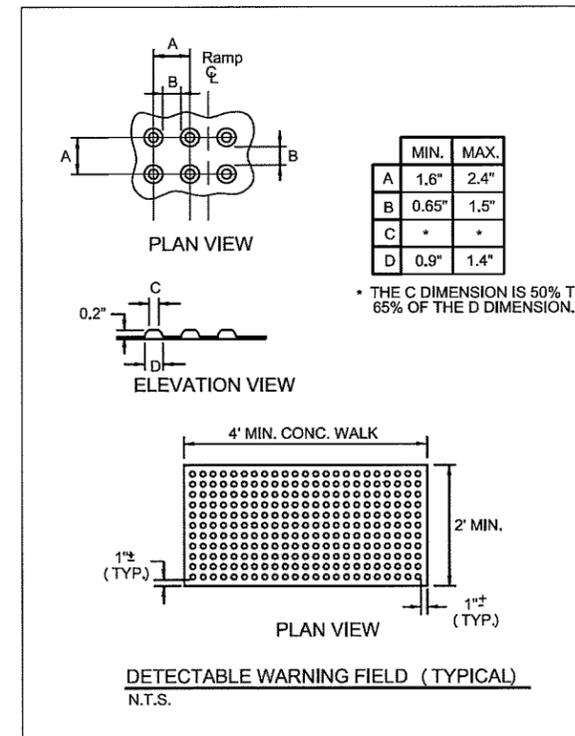
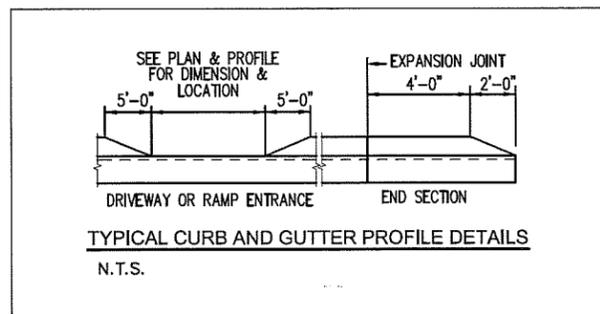
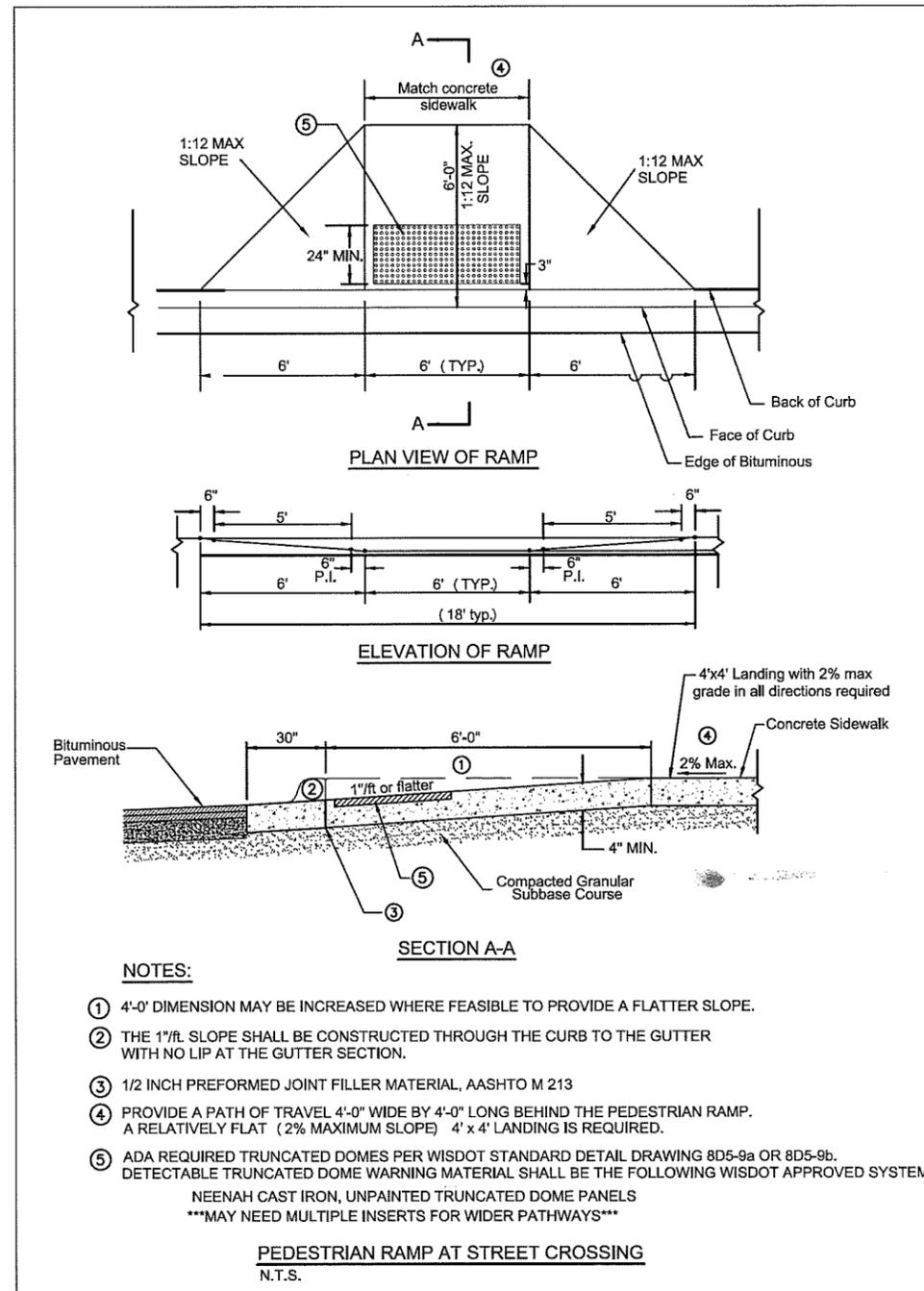
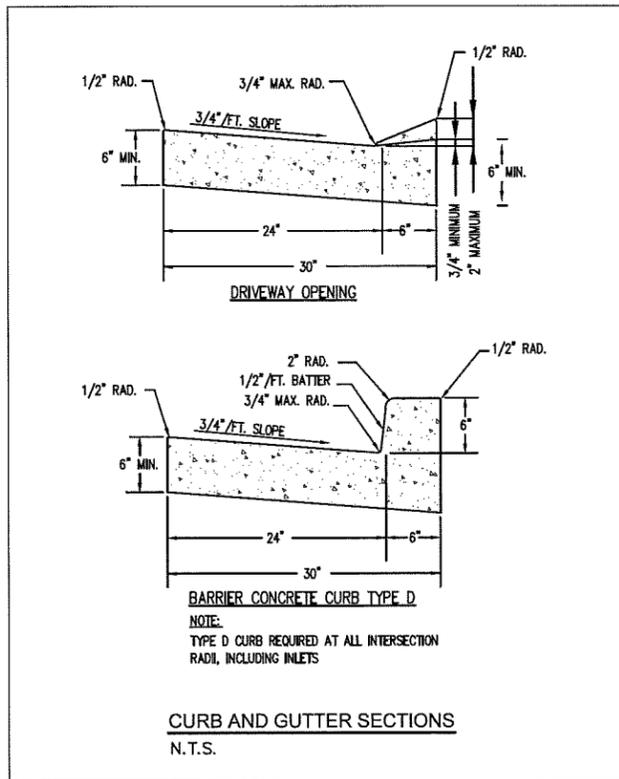
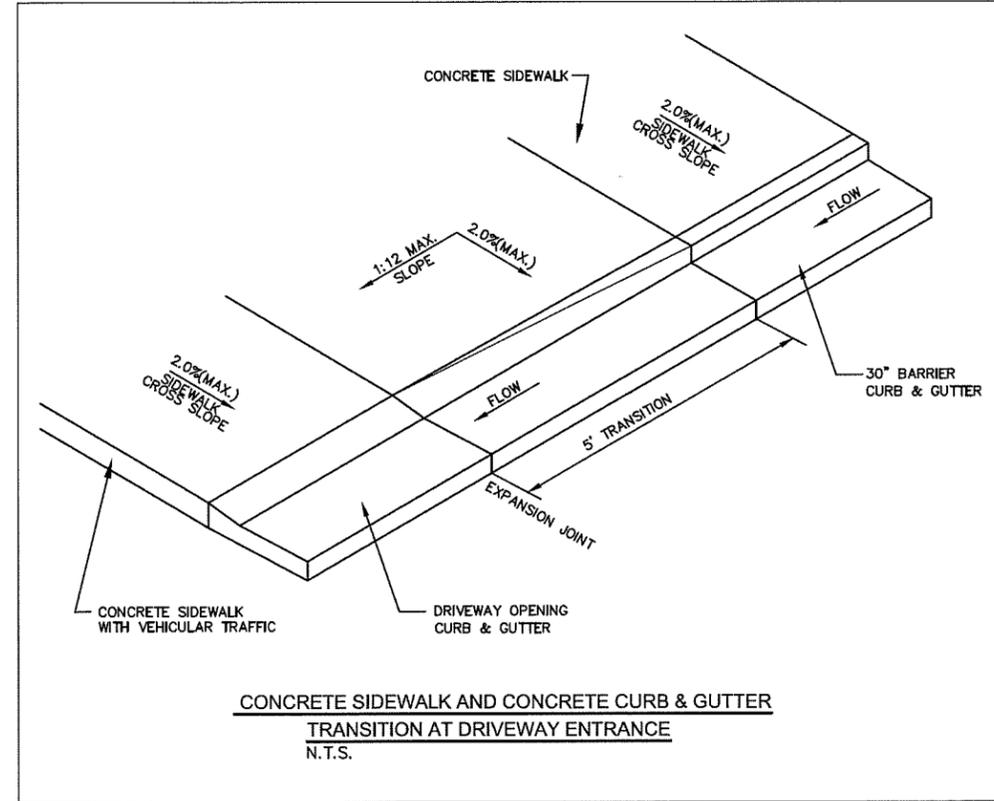
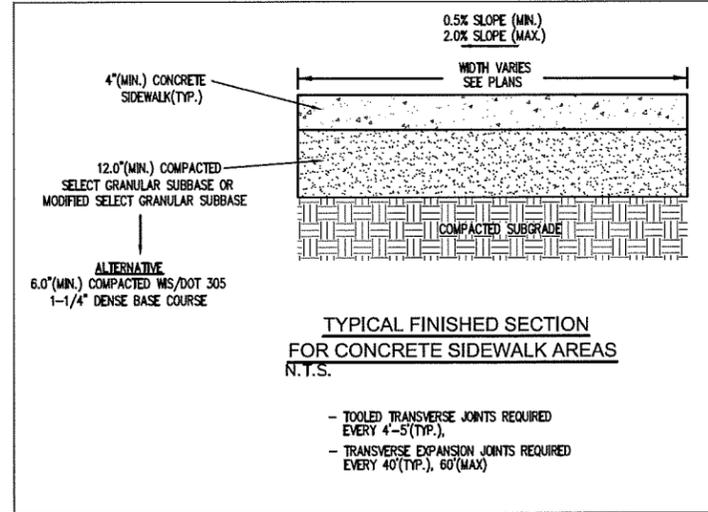
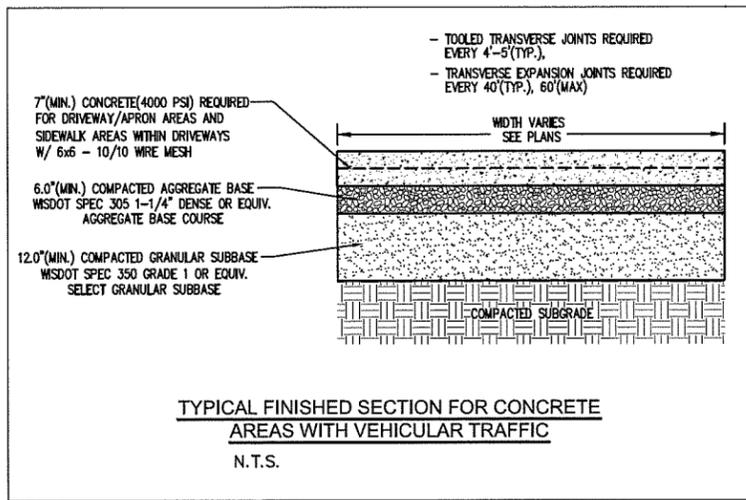
- ALL RCP STORM SEWER PIPING SHALL BE CLASS 3 PIPING OR APPROVED EQUIVALENT, UNLESS NOTED OTHERWISE.
- ALL HDPE STORM SEWER SHALL BE DUAL WALL SMOOTH INTERIOR WITH WATERTIGHT JOINTS OR APPROVED EQUIVALENT, UNLESS NOTED OTHERWISE.
- ALL PIPE LENGTHS INCLUDE APRON ENDWALLS.
- ALL EXTERIOR STORM SEWER PIPE SHALL BE INSTALLED WITH A BROWN 18 GAGE TRACER WIRE, WHEN APPLICABLE PER SPS 382 REQUIREMENTS.

DRAWING PHASE:		DRAWN BY: ZPF	DATE: 10/26/16
OWNER REVIEW	CHECKED BY: MDH	AGENCY REVIEW	DATE: 09/16/16
BID DOCUMENT	DWG FILE: C6.1-Utl	FOR CONSTRUCTION	REF FILE: 5288-001.dwg
AS-BUILT DOCUMENT	JOB NUMBER: 5288-001	RELEASED FOR REVIEW	ZPF
PROJECT:		UTILITY PLAN - D.O.T. PROPERTY	
SHEET NO. C6.1		VISTA CROIX RIVERBOAT PROPERTIES, LLC CITY OF PRESCOTT, WISCONSIN	

ACa
 Auth-Consulting/associates
 S&E Land Surveying & a division of A/C/A

PRESCOTT OFFICE
 408 Technology Drive East
 Suite A
 Neenah, WI 54951
 Tel: 715-232-8100

LAKE SUPERIOR OFFICE
 2920 Raines Street
 Suite 101
 Hudson, WI 54618
 Tel: 715-381-3277

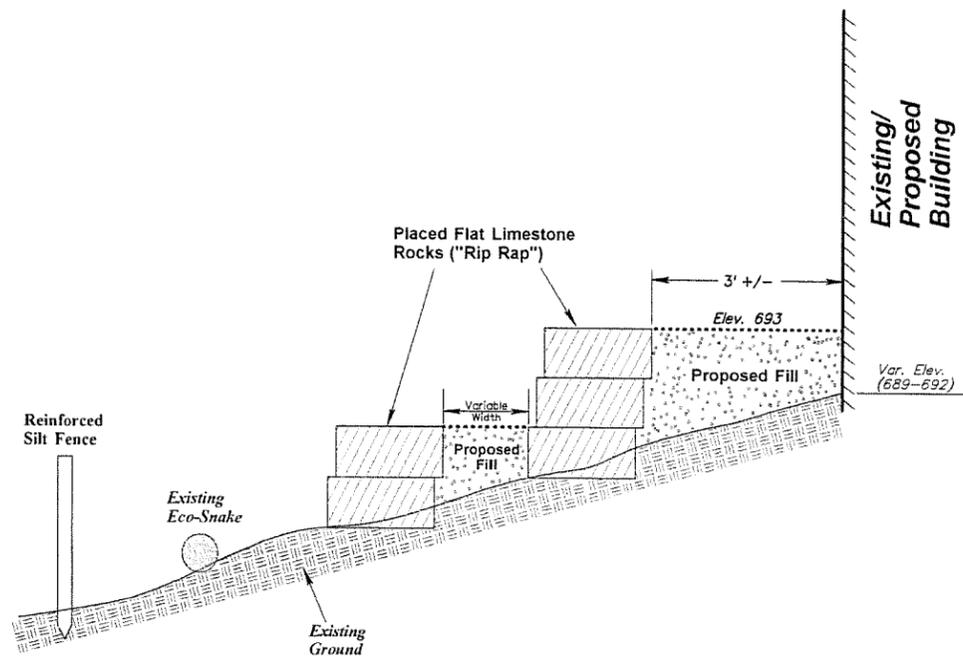


PROJECT:	VISTA CROIX RIVERBOAT PROPERTIES, LLC CITY OF PRESCOTT, WISCONSIN
SHEET NO.	C7.0
DRAWING PHASE:	AS-BUILT DOCUMENT
OWNER REVIEW:	X
AGENCY REVIEW:	X
BID DOCUMENT:	X
FOR CONSTRUCTION:	X
AS-BUILT DOCUMENT:	X
DRAWN BY:	ZPF
CHECKED BY:	MOH
DATE:	08/16/16
DWG FILE:	C7.0-Detalls
REF FILE:	C7.0-Detalls
JOB NUMBER:	5288-001
RELEASED FOR REVIEW:	ZPF
NAME:	ZPF
DATE:	10/26/16

authconsulting.com
Auth-Consulting/associates
SHEET AND SURVEYING A DIVISION OF A/C/A

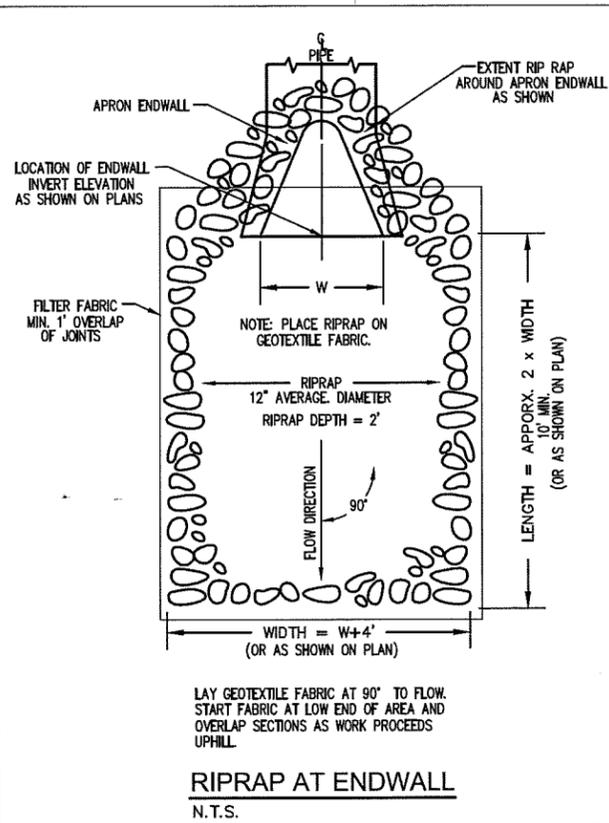
A/C/A

DETAILS



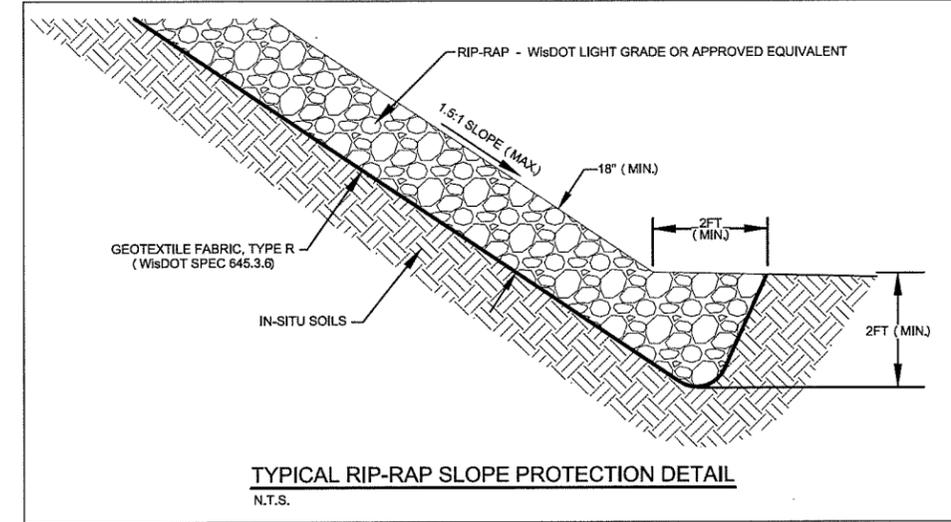
TYPICAL "FILL" CROSS-SECTION

Looking North



RIPRAP AT ENDWALL

N.T.S.

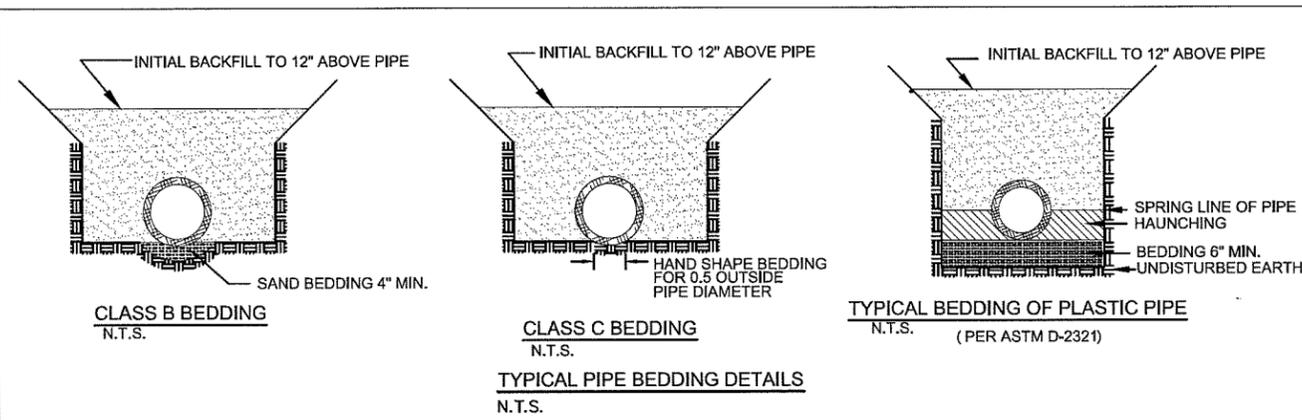


Seed Mix Number	Areas of Use	Species	Mixture Proportions %	Seeding Rate
20	Light, dry, well-drained, sandy, or gravelly soils and high cut & fill slopes	Kentucky Bluegrass Hard Fescue Tall Fescue Perennial Ryegrass	6 24 40 30	3 lbs/ 1000 sq.ft OR 130 lbs/acre

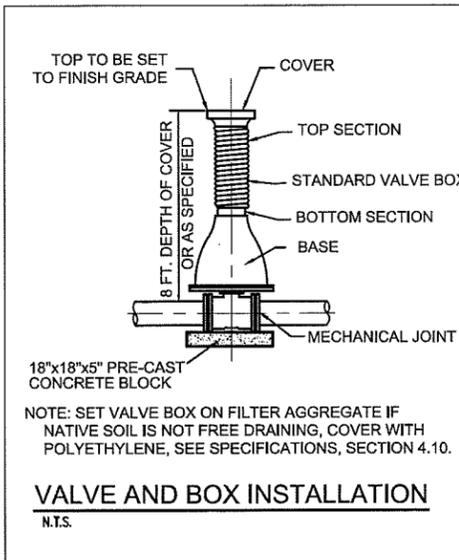
SEED MIXTURES

OGDEN ENGINEERING CO.
Civil Engineering & Land Surveying
1234 S. Wasson Lane, River Falls, WI 54022
(715) 425-7631

Date: 2-10-16
Job No. 16-3316

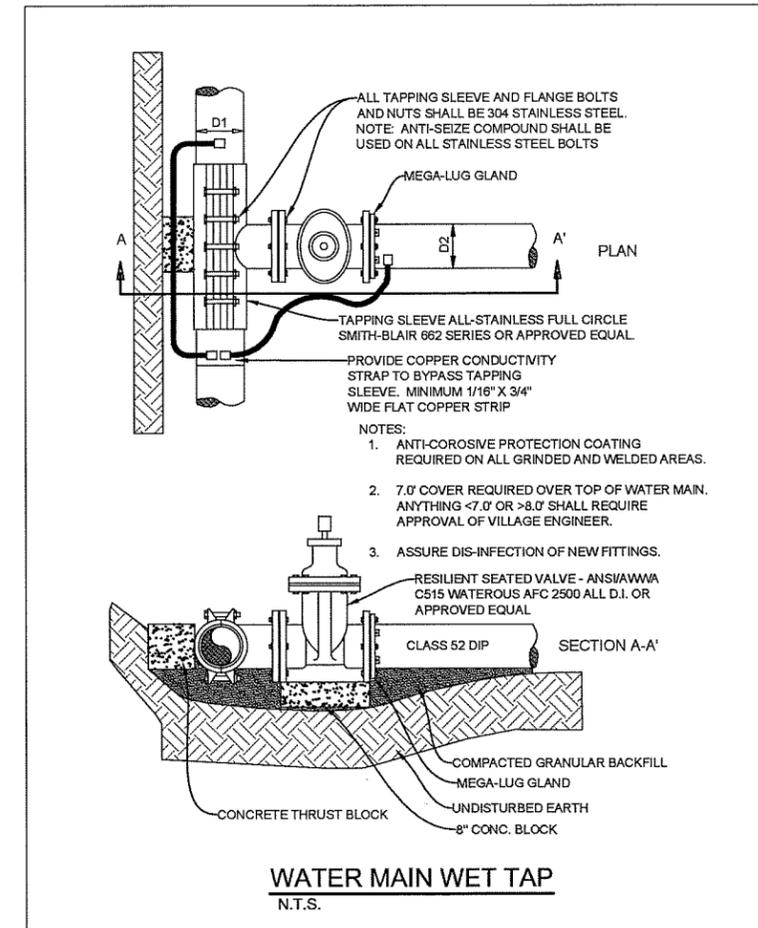


TYPICAL PIPE BEDDING DETAILS
N.T.S.



VALVE AND BOX INSTALLATION

N.T.S.



WATER MAIN WET TAP

N.T.S.

DRAWN BY: ZPF	CHECKED BY: MDH	DATE: 08/16/16	DWG FILE: C7.0-Details	REF FILE: C7.0-Details	FOR CONSTRUCTION	AS-BUILT DOCUMENT	JOB NUMBER: S288-001	RELEASED FOR REVIEW: ZPF	DATE: 10/26/16
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BRANDT OFFICE
2820 Maple Street
Suite 101
Burlington, WI 54018
Tel 715-381-5277

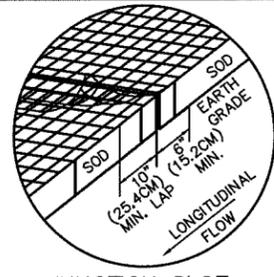
COMPUTER OFFICE
408 Technology Drive East
Suite A
Menomonie, WI 54751
Tel 715-232-9490

Auth-Consulting/associates
authconsulting.com
S&B Land Surveying a division of A-Ca

VISTA CROIX RIVERBOAT PROPERTIES, LLC
CITY OF PRESCOTT, WISCONSIN

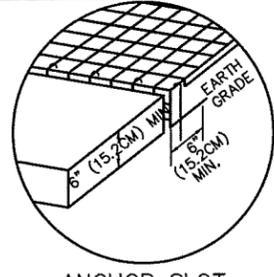
DETAILS

SHEET NO. **C7.1**



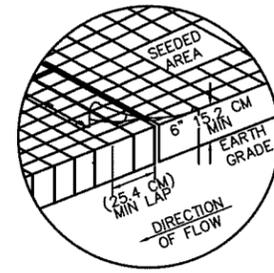
JUNCTION SLOT
SOD ONLY

DETAIL A
N.T.S.



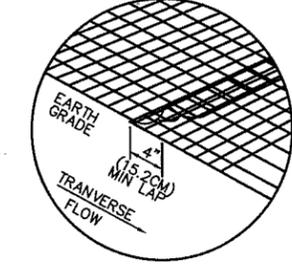
ANCHOR SLOT
AT BEGINNING AND END OF EROSION MAT

DETAIL B
N.T.S.



JUNCTION SLOT
SEED ONLY

DETAIL C
N.T.S.



LAP JOINT
SEED AND SOD

DETAIL D
N.T.S.

GENERAL NOTES EROSION MAT

DETAILS OF CONSTRUCTION, MATERIALS AND WORKMANSHIP NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE STANDARD SPECIFICATIONS AND THE APPLICABLE SPECIAL PROVISIONS.

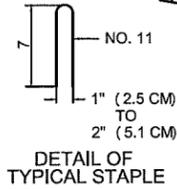
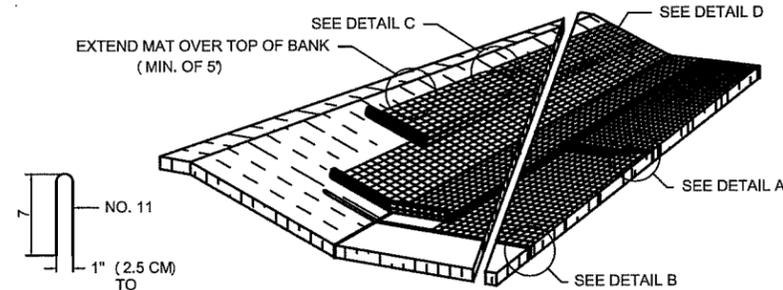
LAP JOINTS SHALL NOT BE PLACED IN THE BOTTOM OF V-SHAPED DITCHES.

JUNCTION SLOTS ON ADJACENT STRIPS OF MATTING SHALL BE STAGGERED A MINIMUM OF 4 FEET (1.219 m) APART.

EDGES OF THE EROSION MAT SHALL BE IMPRESSED IN THE SOIL.

EROSION MAT OVER SEEDING
JUNCTION OR ANCHOR SLOTS SHALL BE AT MINIMUM INTERVALS OF 50 FEET.

STAPLE INSTALLATION AND PATTERNS SHALL COMPLY WITH EROSION MAT MANUFACTURER'S SPECIFICATIONS.



- * 6" (15.2 CM MIN. FOR LOOSE SOILS)
- 12" (30.5 CM MIN FOR LOOSE SOILS)
- 8" (20.3 CM MIN WHERE BOTH SOD AND MATS ARE BEING USED)

EROSION CONTROL MAT

N.T.S.

GENERAL NOTES SILT FENCE

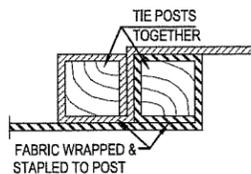
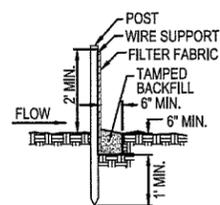
DETAIL OF CONSTRUCTION NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE STANDARD SPECIFICATIONS AND APPLICABLE SPECIAL PROVISIONS.

WHEN POSSIBLE THE SILT FENCE SHOULD BE CONSTRUCTED IN AN ARC OR HORSESHOE SHAPE, WITH THE ENDS POINTING UPSLOPE TO MAXIMIZE BOTH STRENGTH AND EFFECTIVENESS.

CROSS BRACE WITH 2"x4" WOODEN FRAME OR EQUIVALENT AT TOP OF POSTS AS DIRECTED BY THE ENGINEER.

1. MINIMUM 14 GAGE WIRE REQUIRED, FOLD FABRIC 3" OVER THE WIRE AND STAPLE OF PLACE WIRE RINGS ON 12" C-C.
2. EXCAVATE A TRENCH A MINIMUM OF 4" WIDE & 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL & COMPACT TRENCH WITH EXCAVATED SOIL.
3. WOOD POSTS SHALL BE A MINIMUM SIZE OF 1-1/8"x1-1/8" OF OAK OR HICKORY.

STANDARD INSTALLATION

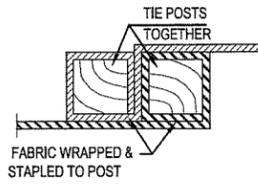
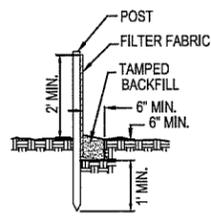


DETAIL FOR JOINING SECTIONS

**EROSION FENCE WITH
WIRE MESH SUPPORT**

N.T.S.

STANDARD INSTALLATION



DETAIL FOR JOINING SECTIONS

**DETAIL FOR INSTALLATION
OF EROSION FENCE**

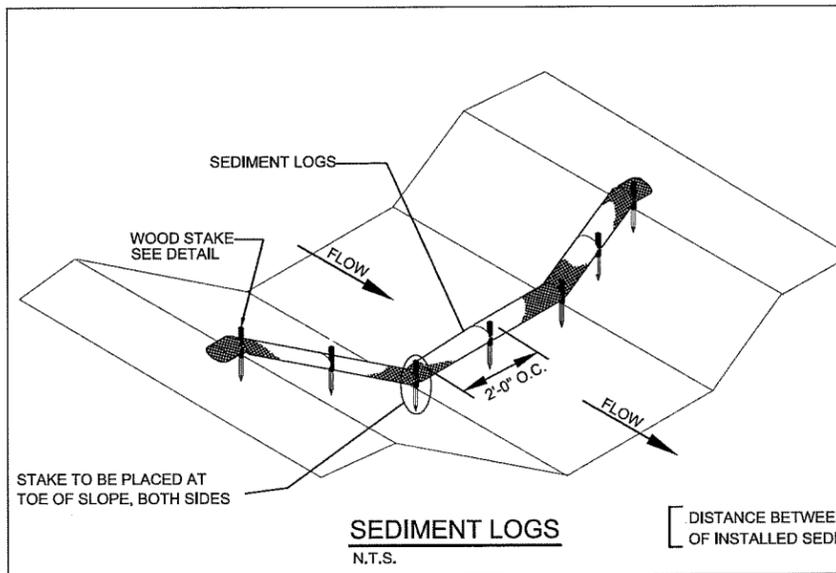
N.T.S.

NOTES:

1. MIN. 2"x4" 4' LONG POST TO BE SPACED AT A MAX. OF 8'.
2. WIRE SUPPORT TO BE 14 GAGE MIN. WOVEN WIRE WITH MAX. MESH SPACING OF 6".
3. FILTER FABRIC TO BE MIRAFI 100 OR EQUAL.
4. POSTS DAMAGED ON DRIVING SHALL BE REPLACED.
5. EROSION CONTROL SHALL BE MAINTAINED DAILY.

NOTES:

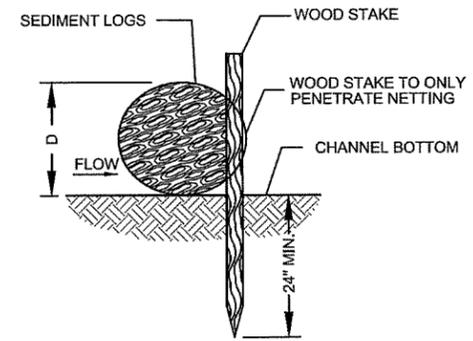
1. MIN. 2"x2" POST TO BE SPACED AT A MAX. OF 5'.
2. FILTER FABRIC TO BE MIRAFI 100 OR EQUAL.
3. POSTS DAMAGED ON DRIVING SHALL BE REPLACED.
4. EROSION CONTROL SHALL BE MAINTAINED DAILY.



SEDIMENT LOGS

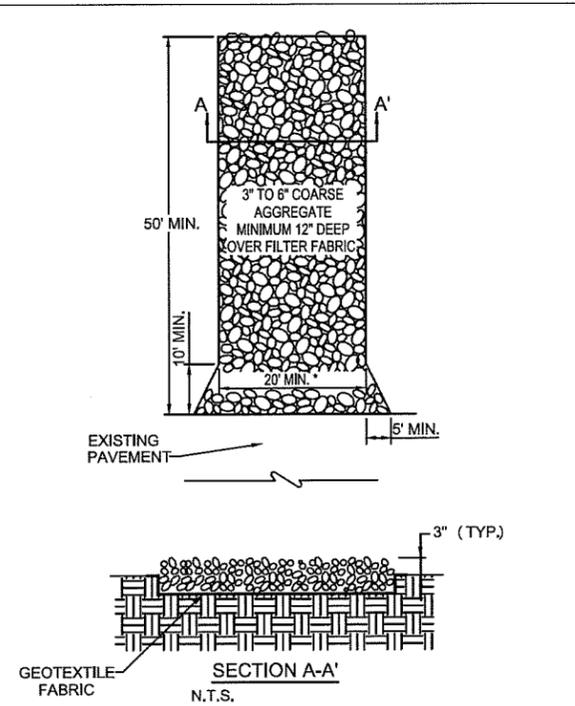
N.T.S.

$$\left[\frac{\text{DISTANCE BETWEEN CHANNEL BOTTOM AND TOP OF INSTALLED SEDIMENT LOGS (D) (FT)}}{\text{CHANNEL GRADIENT (\%)}} \right] \times 100 = \text{SEDIMENT LOGS SPACING (FT)}$$



STAKE DETAILS

N.T.S.



* MUST EXTEND FULL WIDTH OF INGRESS AND EGRESS OPENING.

NOTES:

1. TRACKING ENTRANCE SHALL BE INSPECTED DAILY. DEFICIENT AREAS SHALL BE REPAIRED OR REPLACED IMMEDIATELY. THIS WORK SHALL BE INCIDENTAL TO THE CONTRACT.
2. STONE SHALL BE REMOVED AND REPLACED WHEN SOIL FILLS OPENINGS AND/OR DIRECTED BY THE ENGINEER. THIS WORK SHALL BE INCIDENTAL TO THE CONTRACT.
3. EXISTING PAVEMENT SHALL BE INSPECTED AND CLEANED AT LEAST DAILY. THIS WORK SHALL BE INCIDENTAL TO THE CONTRACT.

CONSTRUCTION VEHICLE TRACKING ENTRANCE

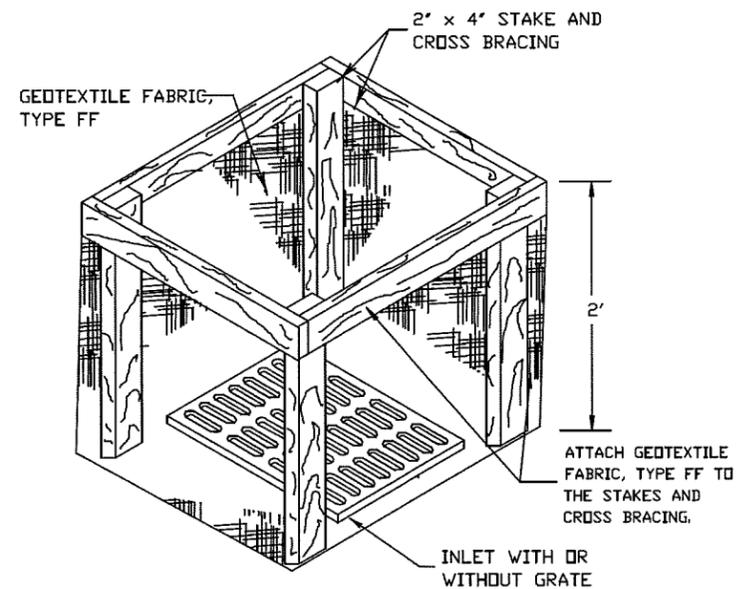
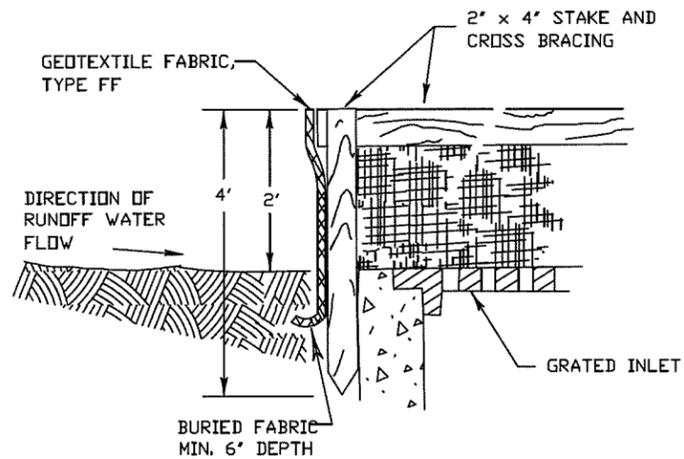
N.T.S.

PROJECT:	VISTA CROIX RIVERBOAT PROPERTIES, LLC
CITY:	CITY OF PRESCOTT, WISCONSIN
DATE:	10/26/16
REVISION DESCRIPTION:	ZPF
JOB NUMBER:	5288-001
AS-BUILT DOCUMENT:	
FOR CONSTRUCTION:	C7.0-Details
BID DOCUMENT:	C7.0-Details
AGENCY REVIEW:	08/16/16
OWNER REVIEW:	MDH
CHECKED BY:	MDH
DRAWN BY:	ZPF

PRESCOTT OFFICE
2820 Babler Street
Suite 101
Prescott, WI 54016
Tel 715-381-8277

CONSCIOUS OFFICE
408 Technology Drive East
Suite A
Menomonie, WI 54751
Tel 715-232-6490

A.Ca
Auth-Consulting/associates
Soil Erosion Strengthening a division of A-C/A



INLET PROTECTION, TYPE A

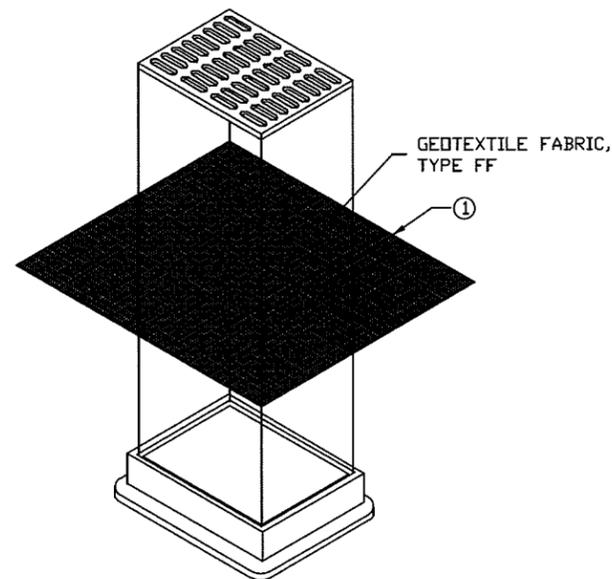
GENERAL NOTES

INLET PROTECTION DEVICES SHALL BE MAINTAINED OR REPLACED AT THE DIRECTION OF THE ENGINEER.

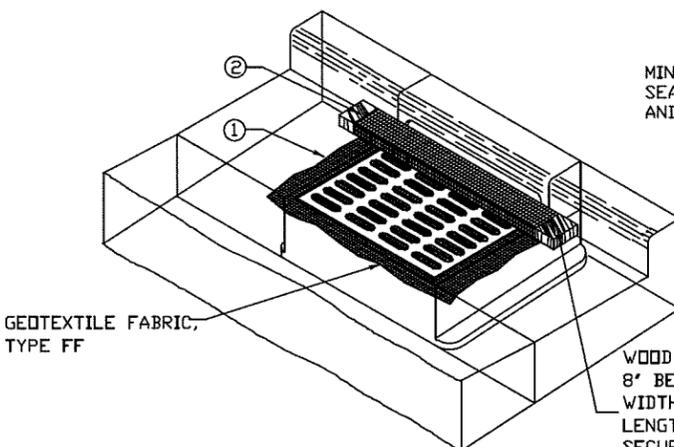
MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.

WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

- ① FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10' AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
- ② FOR INLET PROTECTION, TYPE C (WITH CURB BOX), AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
- ③ FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2X4.



INLET PROTECTION, TYPE B
(WITHOUT CURB BOX)
(CAN BE INSTALLED IN ANY INLET WITHOUT A CURB BOX)



INLET PROTECTION, TYPE C (WITH CURB BOX)

INSTALLATION NOTES

TYPE B & C

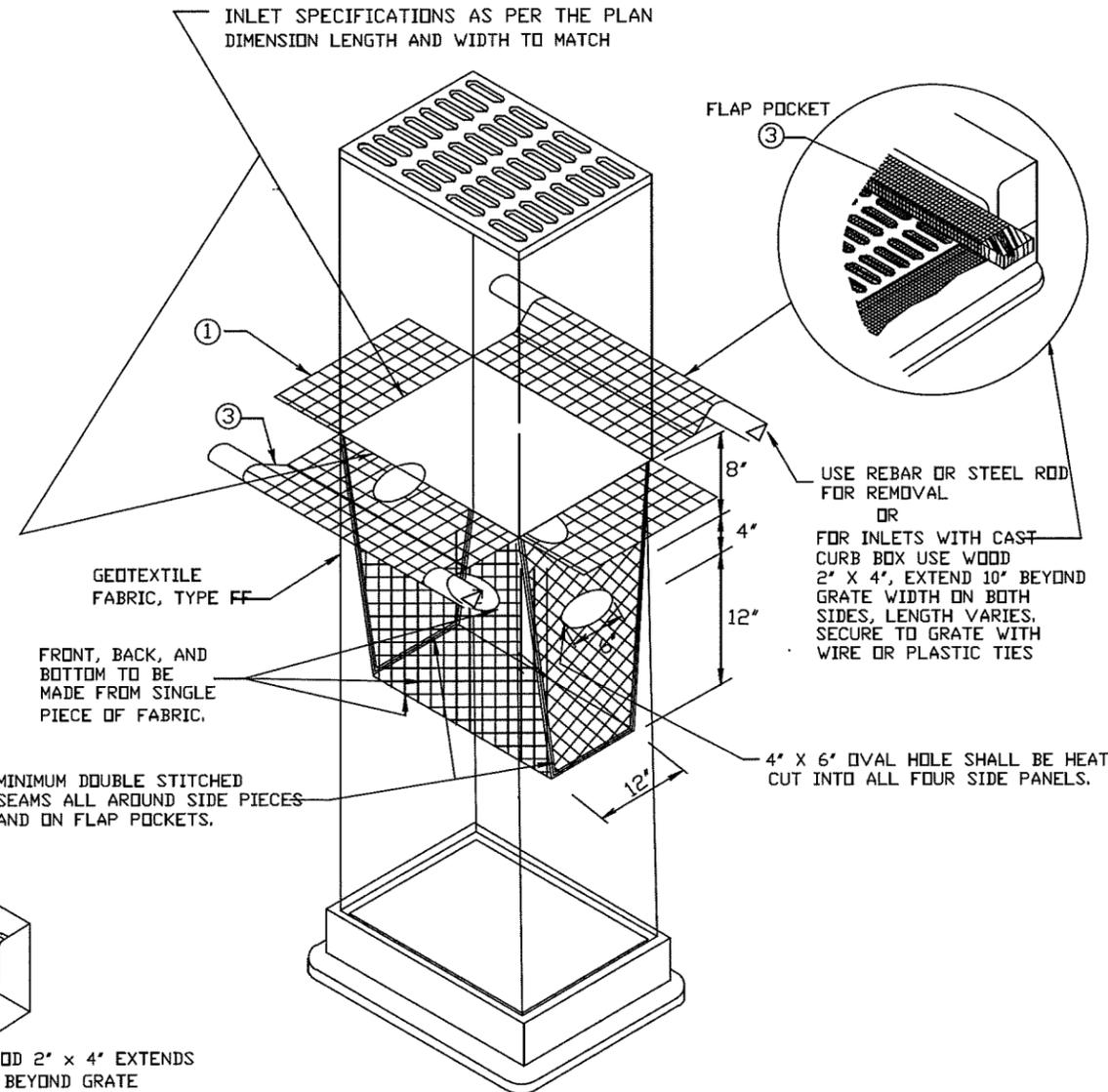
TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3' OF THE GRATE. THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.

TYPE D

DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.

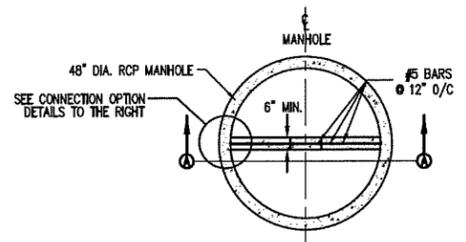
TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3' OF THE GRATE.

THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY THE CONTRACTOR SHALL CINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4' FROM THE BOTTOM OF THE BAG.

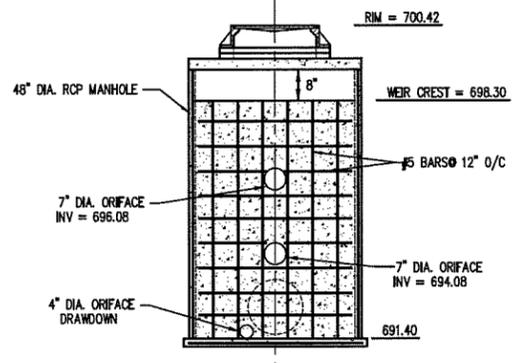


INLET PROTECTION, TYPE D
(CAN BE INSTALLED IN ANY INLET TYPE WITH OR WITHOUT A CURB BOX AS PER NOTE ②)

DRAWING PHASE:		DRAWN BY: ZPF	DATE: 10/26/16	NAME:	DATE:
OWNER REVIEW	CHECKED BY: MDH	AGENCY REVIEW	DATE: 08/16/16	RELEASED FOR REVIEW	ZPF
BID DOCUMENT	DWG FILE: C7.0-Details	FOR CONSTRUCTION	REF FILE: C7.0-Details	REVISION DESCRIPTION:	10/26/16
AS-BUILT DOCUMENT	JOB NUMBER: 528B-001				
PROJECT: VISTA CROIX RIVERBOAT PROPERTIES, LLC CITY OF PRESCOTT, WISCONSIN		SHEET NO. C7.3		DETAILS	
PROJECT OFFICE: 408 Technology Drive East, Suite A, Menomonie, WI 54751, Tel 715-232-9490		BUREAU OFFICE: 2820 Kahle Street, Suite 101, Hudson, WI 54016, Tel 715-581-3577		AUTH-CONSULTING/ASSOCIATES AUTHCONSULTING.COM SALES AND SHIPPING A DIVISION OF A/C/A	

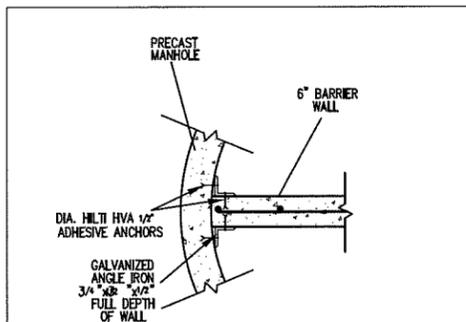


PLAN VIEW
N.T.S.

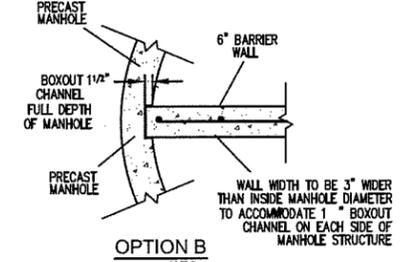


SECTION A-A
N.T.S.

STORMWATER STRUCTURE A
REINFORCED CONCRETE BARRIER WALL STRUCTURAL DETAIL
N.T.S.

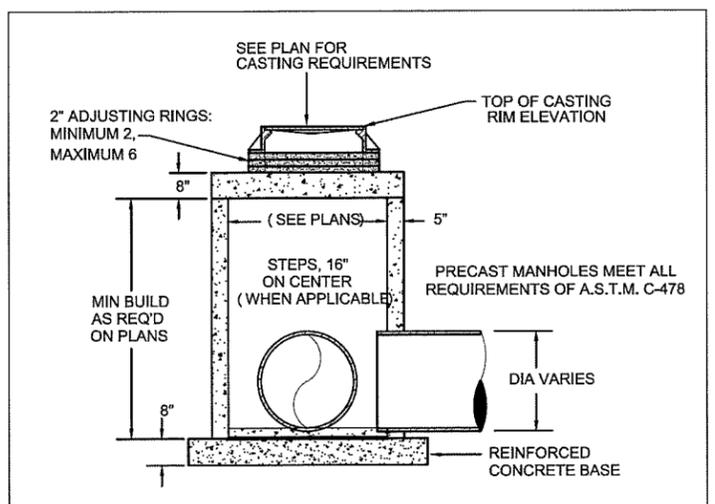


OPTION A
N.T.S.



OPTION B
N.T.S.

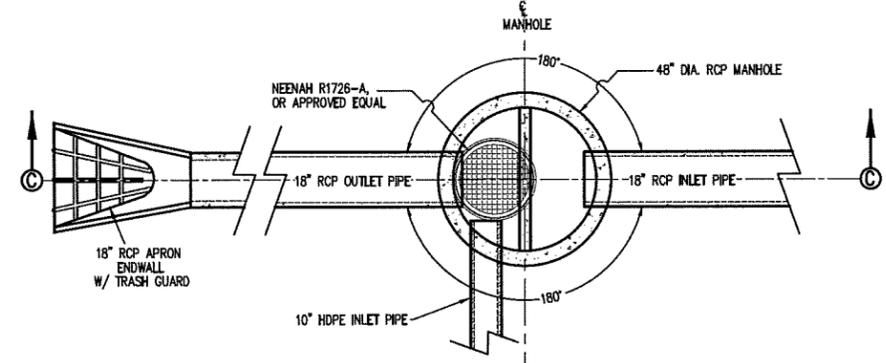
SECTION B-B
N.T.S.



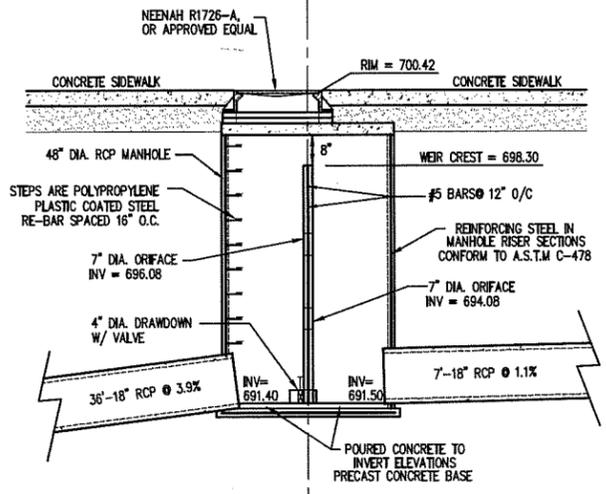
NOTES:

1. VERTICAL ALIGNMENT OF STEPS SHALL NOT BE ABOVE PIPES THAT ARE GREATER THAN TWENTY-FOUR (24) INCHES IN DIAMETER.

STORM MANHOLE WITH CASTING ASSEMBLY DETAIL
N.T.S.



PLAN VIEW STORMWATER STRUCTURE A
N.T.S.



PRECAST MANHOLES SHALL MEET ALL REQUIREMENTS OF A.S.T.M. C-478

SECTION C-C
N.T.S.
STORMWATER STRUCTURE A DETAIL

PROJECT:	VISTA CROIX RIVERBOAT PROPERTIES, LLC CITY OF PRESCOTT, WISCONSIN
SHEET NO.:	C7.4
DRAWING PHASE:	DRAWN BY: ZPF OWNER REVIEW AGENCY REVIEW BID DOCUMENT FOR CONSTRUCTION AS-BUILT DOCUMENT
CHECKED BY:	MDH
DATE:	08/16/16
DWG FILE:	C7.0-Details
REF FILE:	C7.0-Details
JOB NUMBER:	5288-001
RELEASED FOR REVIEW:	ZPF
NAME:	10/26/16
DATE:	



Auth-Consulting/associates
S&E Land Surveying a division of a-c/a

BRANCH OFFICE
2920 Main Street
Suite 101
Madison, WI 53705
Tel: 715-381-3877

CORPORATE OFFICE
408 Technology Drive East
Suite A
Menomonie, WI 54751
Tel: 715-232-9400

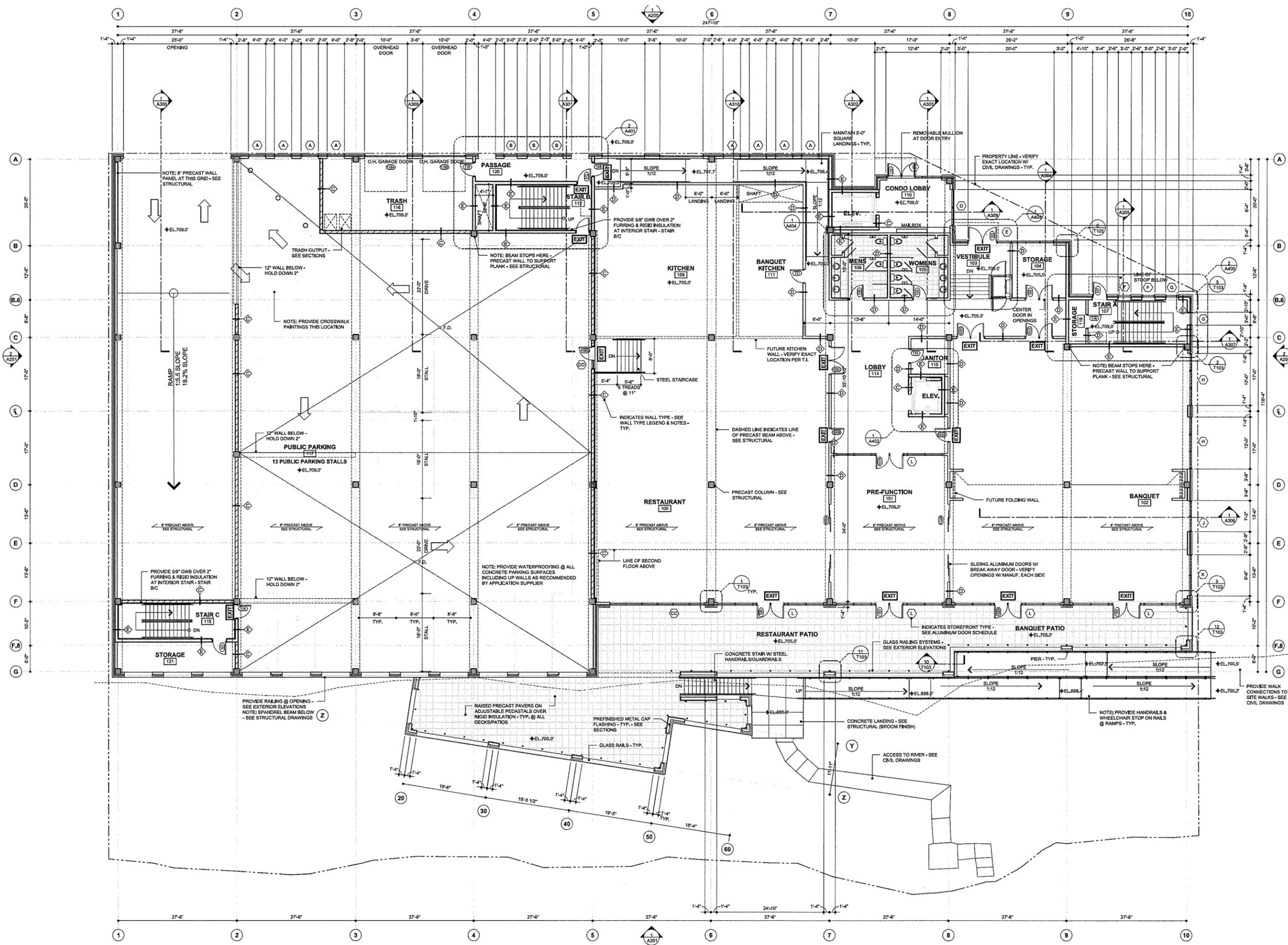
authconsulting.com

PROJECT:
 VISTA CROIX
 PRESCOTT, WI 54021
PERMIT SET
 10-17-2016

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PROJECT INFORMATION:
 P2 PARKING LEVEL FIRST LEVEL:
A101



1 MAIN LEVEL (RESTAURANT/BANQUET)
 1/8"=1'-0"

23,519 SQ. FT.



STORMWATER MANAGEMENT PLAN

Vista Croix Redevelopment Project

City of Prescott, Wisconsin

10/26/2016

ACA JOB NUMBER 5288-001

Prepared by:

■ ***Auth•Consulting & Associates - AC/a***

Planning, Engineering, Building Design & Surveying

2920 Enloe Street, Suite 101, Hudson WI 54016

Hudson Office: 715-381-5277

Corporate Office: 715-232-8490

www.authconsulting.com

S&N Land Surveying & Nelsen Land Surveying - Divisions of AC/a

Table of Contents

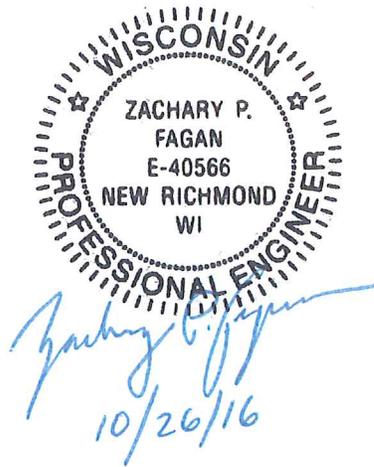
SUMMARY 3
 Overview 3
 Land Disturbing Activity 3
 Construction Standards-Best Management Practices (BMPs) 3
 Post Construction Standards..... 3
 Construction Timeline & Sequencing 3
 Contacts 3
 SITE ANALYSIS & SCREENING 4
 Soils Map Review..... 4
 Topographic Analysis 4
 Wetland Delineation 4
 Endangered Resources/Historical Sites..... 4
 Waterway/Floodplain..... 4
 Site Soil Testing..... 4
 STORMWATER MANAGEMENT TECHNICAL BASIS 4
 Summary of Required Standards 4
 Rate Control Summary..... 5
 Water Quality Summary..... 5
 Volume Control Summary 5

Appendix

- Appendix A – Location Map
- Appendix B – Soils Map- USDA/Soil Borings
- Appendix C- Rate Modeling- Hydrocad©
- Appendix D- *Reserved*
- Appendix E- Site Photos

Figure

- Figure 1 – Predeveloped Drainage Map
- Figure 2 – Post Developed Drainage Map



SUMMARY

Overview

The purpose of this report is to provide an analysis of the storm water management plan for a new building located in the City of Prescott, Wisconsin.

Land Disturbing Activity

The project will involve grading the site for construction of a new building in a redevelopment location.

Construction Standards-Best Management Practices (BMPs)

The site will utilize temporary BMPs consisting of a tracking pad, silt fence (or compost filter socks), ermat, and seeding/mulching- see erosion control plan for location of BMPs.

Post Construction Standards

On-site storm water features consist of underground storage for rate control and water reuse for volume control.

Construction Timeline & Sequencing

Pending the permitting review process, construction on the facility is anticipated to begin in the Fall of 2016.

Contacts

Owner/Developer:

Riverboat Properties
Bruce Lenzen
106 Buckey St #202
Hudson, WI 54016
(715) 808-8220

Engineer:

Auth Consulting/associates
2920 Enloe Street, Suite 101
Hudson, WI 54016
715-381-5277

BMP Installation Contractor:

To be determined

Long Term Maintenance Responsibility:

Same as Owner

SITE ANALYSIS & SCREENING

Prior to finalizing the plan, preliminary analysis evaluated the following:

Soils Map Review

USDA soils maps indicate that the property consists of type A soils - see Appendix B for descriptions and soils map.

Topographic Analysis

Topography was completed by Ogden Engineering.

Wetland Delineation

The site has no wetland or wetland indicator soils based on the surface water viewer website.

Endangered Resources/Historical Sites

This is a redevelopment- due to proximity to the St Croix River it is anticipated that aquatic life endangered species will exist.

Waterway/Floodplain

Flood study completed by others.

Site Soil Testing

None required.

STORMWATER MANAGEMENT TECHNICAL BASIS

Summary of Required Standards

- City of Prescott
 - Rate control 1.5" and 2, 10 and 100 year
 - 40% TSS Treatment for redevelopment
 - Volume control for 1.5" event
- DNR
 - Rate Control Exempt
 - Volume Control Exempt
 - 40% TSS removal of new parking/drive surfaces

Rate Control Summary

RUNOFF RATE (cfs)				
Description	Recurrence Interval			
	1.5" Event	2-yr 2.83in	10-yr 4.15in	100-yr 6.73in
Predeveloped Rate (cfs)	1.2	2.4	3.7	5.7
Post Developed Rate (cfs)	1.2	2.2	3.7	5.3

Water Quality Summary

Per NR 151.122(1), site is exempt from TSS reduction standards due to the redevelopment having no parking areas and roads. TSS load is reduced from the pre-developed to post developed conditions based on coverage changes.

Volume Control Summary

Predeveloped 1.5" Volume = 0.069 ac-ft
Post Developed 1.5" Volume = 0.062 ac-ft

Appendix A

Location Map



Surface Water Data Viewer Map



Legend

- Municipality
- State Boundaries
- County Boundaries
- Major Roads
 - Interstate Highway
 - State Highway
 - US Highway
- County and Local Roads
 - County HWY
 - Local Road
- Railroads
- Tribal Lands
- Major Roads
- County Road
- Interstate HWY
- State HWY
- US HWY
- Local Roads
 - Local Road
 - Other
- County Boundaries
- Airports
- Municipal Boundary
- State Boundary
- Tribal Lands
- Rivers and Streams
- Intermittent Streams
- Lakes and Open water
- 24K Intermittent Stream
- 24K In Water Flow Labels
 - 1
 - 2
 - 3, 4, 5

Notes

DISCLAIMER: The information shown on these maps has been obtained from various sources, and are of varying age, reliability and resolution. These maps are not intended to be used for navigation, nor are these maps an authoritative source of information about legal land ownership or public access. No warranty, expressed or implied, is made regarding accuracy, applicability for a particular use, completeness, or legality of the information depicted on this map. For more information, see the DNR Legal Notices web page: <http://dnr.wi.gov/legal/>

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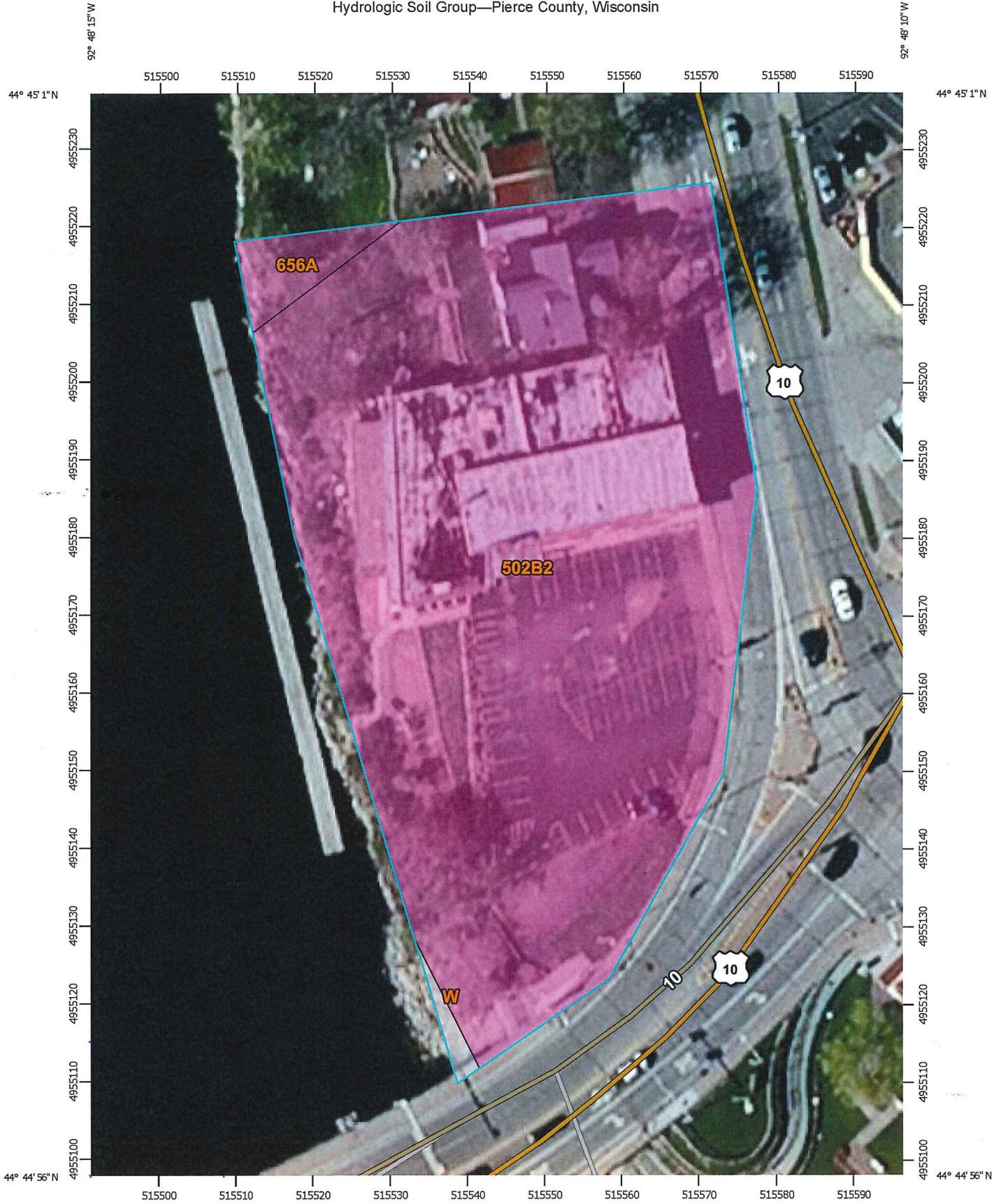
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NAD_1983_HARN_Wisconsin_TM
© Latitude Geographics Group Ltd.

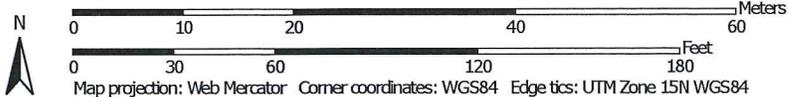
Appendix B

Soils Map- USDA/Soil Borings

Hydrologic Soil Group—Pierce County, Wisconsin



Map Scale: 1:678 if printed on A portrait (8.5" x 11") sheet.



MAP LEGEND

- Area of Interest (AOI)
 - Area of Interest (AOI)
- Soils
 - Soil Rating Polygons
 - A
 - A/D
 - B
 - B/D
 - C
 - C/D
 - D
 - Not rated or not available
 - Soil Rating Lines
 - A
 - A/D
 - B
 - B/D
 - C
 - C/D
 - D
 - Not rated or not available
 - Soil Rating Points
 - A
 - A/D
 - B
 - B/D
- Water Features
 - Streams and Canals
- Transportation
 - Rails
 - Interstate Highways
 - US Routes
 - Major Roads
 - Local Roads
- Background
 - Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:12,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
 Web Soil Survey URL: <http://websoilsurvey.nrcs.usda.gov>
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Pierce County, Wisconsin
 Survey Area Data: Version 15, Sep 17, 2015

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Mar 16, 2012—Apr 26, 2012

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Hydrologic Soil Group

Hydrologic Soil Group— Summary by Map Unit — Pierce County, Wisconsin (WI093)				
Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
502B2	Chelsea fine sand, 2 to 6 percent slopes, moderately eroded	A	1.3	96.9%
656A	Scotah loamy fine sand, 0 to 3 percent slopes, occasionally flooded	A	0.0	2.5%
W	Water		0.0	0.6%
Totals for Area of Interest			1.3	100.0%

Description

Hydrologic soil groups are based on estimates of runoff potential. Soils are assigned to one of four groups according to the rate of water infiltration when the soils are not protected by vegetation, are thoroughly wet, and receive precipitation from long-duration storms.

The soils in the United States are assigned to four groups (A, B, C, and D) and three dual classes (A/D, B/D, and C/D). The groups are defined as follows:

Group A. Soils having a high infiltration rate (low runoff potential) when thoroughly wet. These consist mainly of deep, well drained to excessively drained sands or gravelly sands. These soils have a high rate of water transmission.

Group B. Soils having a moderate infiltration rate when thoroughly wet. These consist chiefly of moderately deep or deep, moderately well drained or well drained soils that have moderately fine texture to moderately coarse texture. These soils have a moderate rate of water transmission.

Group C. Soils having a slow infiltration rate when thoroughly wet. These consist chiefly of soils having a layer that impedes the downward movement of water or soils of moderately fine texture or fine texture. These soils have a slow rate of water transmission.

Group D. Soils having a very slow infiltration rate (high runoff potential) when thoroughly wet. These consist chiefly of clays that have a high shrink-swell potential, soils that have a high water table, soils that have a claypan or clay layer at or near the surface, and soils that are shallow over nearly impervious material. These soils have a very slow rate of water transmission.

If a soil is assigned to a dual hydrologic group (A/D, B/D, or C/D), the first letter is for drained areas and the second is for undrained areas. Only the soils that in their natural condition are in group D are assigned to dual classes.

Rating Options

Aggregation Method: Dominant Condition

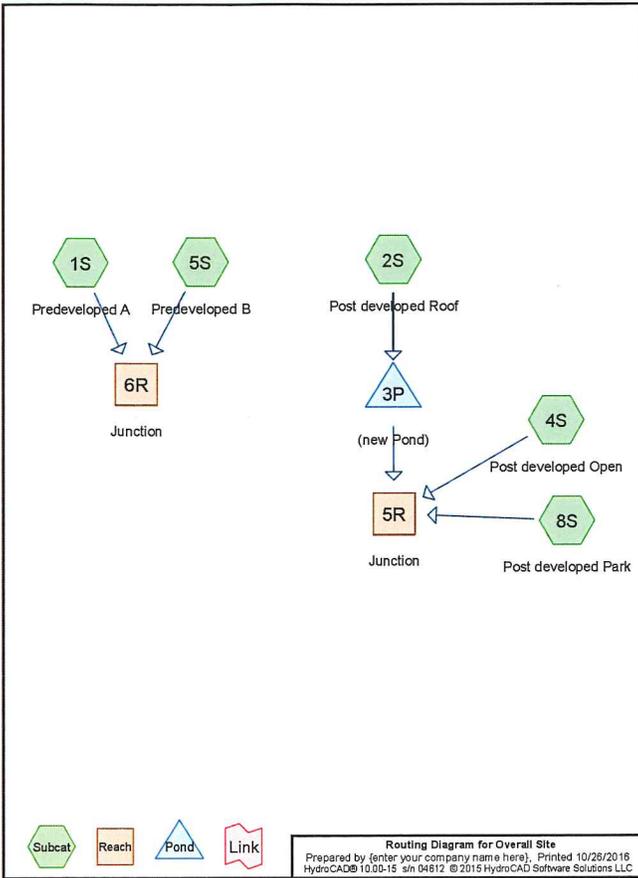
Component Percent Cutoff: None Specified

Tie-break Rule: Higher

Appendix C
Rate Modeling- Hydrocad©

Area Listing (all nodes)

Area (acres)	CN	Description (subcatchment-numbers)
0.436	49	50-75% Grass cover, Fair, HSG A (1S, 5S)
0.353	39	>75% Grass cover, Good, HSG A (4S, 8S)
0.347	98	Paved parking, HSG A (1S, 5S)
0.948	98	Roofs, HSG A (1S, 2S)
0.096	98	Walks, HSG A (4S, 8S)
0.081	98	Walks/patio, HSG A (1S)
2.261	79	TOTAL AREA



Pipe Listing (all nodes)

Line#	Node Number	In-Invert (feet)	Out-Invert (feet)	Length (feet)	Slope (ft/ft)	n	Diam/Width (inches)	Height (inches)	Inside-Fill (inches)
1	3P	691.40	690.00	36.0	0.0389	0.012	18.0	0.0	0.0

Summary for Subcatchment 1S: Predeveloped A

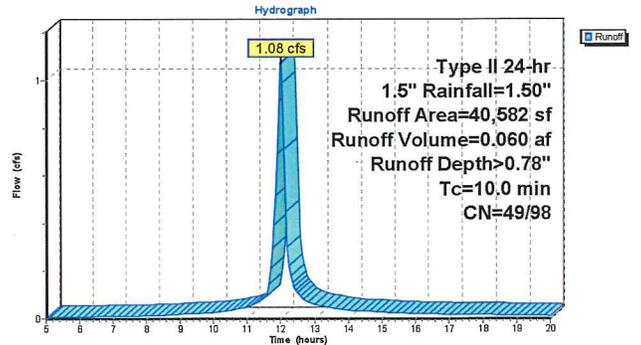
Runoff = 1.08 cfs @ 12.01 hrs, Volume= 0.060 af, Depth> 0.78"

Runoff by SCS TR-20 method, UH=SCS, Split Pervious/Imperv., Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Type II 24-hr 1.5" Rainfall=1.50"

Area (sf)	CN	Description
11,622	98	Roofs, HSG A
11,233	98	Paved parking, HSG A
3,514	98	Walks/patio, HSG A
14,213	49	50-75% Grass cover, Fair, HSG A
40,582	81	Weighted Average
14,213	49	35.02% Pervious Area
26,369	98	64.98% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
10.0					Direct Entry,

Subcatchment 1S: Predeveloped A



Summary for Subcatchment 2S: Post developed Roof

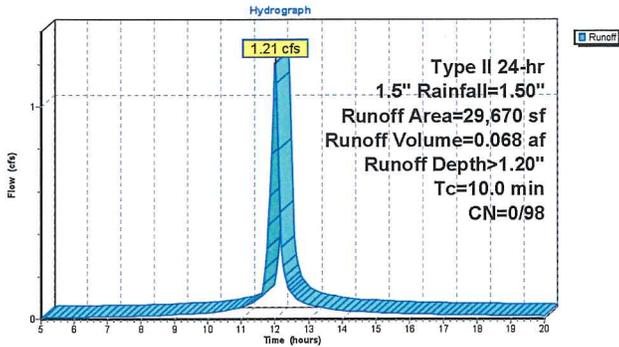
Runoff = 1.21 cfs @ 12.01 hrs, Volume= 0.068 af, Depth> 1.20"

Runoff by SCS TR-20 method, UH=SCS, Split Pervious/Imperv., Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Type II 24-hr 1.5" Rainfall=1.50"

Area (sf)	CN	Description
29,670	98	Roofs, HSG A
29,670	98	100.00% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
10.0					Direct Entry,

Subcatchment 2S: Post developed Roof



Summary for Subcatchment 4S: Post developed Open

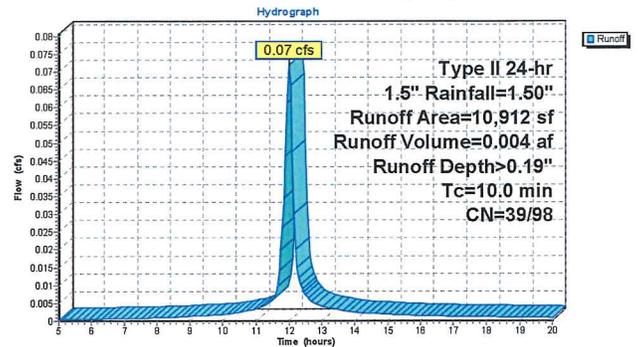
Runoff = 0.07 cfs @ 12.01 hrs, Volume= 0.004 af, Depth> 0.19"

Runoff by SCS TR-20 method, UH=SCS, Split Pervious/Imperv., Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Type II 24-hr 1.5" Rainfall=1.50"

Area (sf)	CN	Description
1,766	98	Walks, HSG A
9,146	39	>75% Grass cover, Good, HSG A
10,912	49	Weighted Average
9,146	39	83.82% Pervious Area
1,766	98	16.18% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
10.0					Direct Entry,

Subcatchment 4S: Post developed Open



Summary for Subcatchment 5S: Predeveloped B

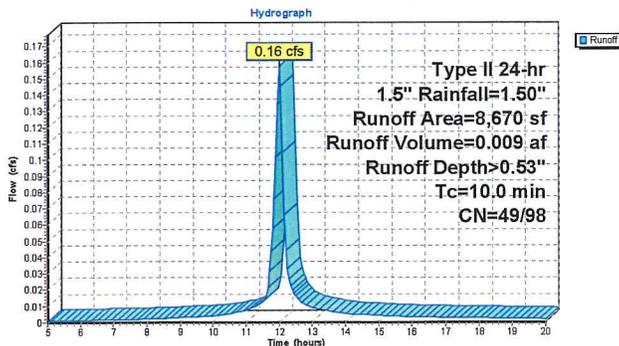
Runoff = 0.16 cfs @ 12.01 hrs, Volume= 0.009 af, Depth> 0.53"

Runoff by SCS TR-20 method, UH=SCS, Split Pervious/Imperv., Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Type II 24-hr 1.5" Rainfall=1.50"

Area (sf)	CN	Description
3,873	98	Paved parking, HSG A
4,797	49	50-75% Grass cover, Fair, HSG A
8,670	71	Weighted Average
4,797	49	55.33% Pervious Area
3,873	98	44.67% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
10.0					Direct Entry,

Subcatchment 5S: Predeveloped B



Summary for Subcatchment 8S: Post developed Park

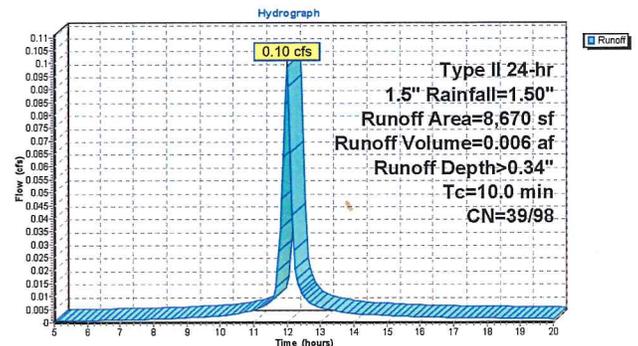
Runoff = 0.10 cfs @ 12.01 hrs, Volume= 0.006 af, Depth> 0.34"

Runoff by SCS TR-20 method, UH=SCS, Split Pervious/Imperv., Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Type II 24-hr 1.5" Rainfall=1.50"

Area (sf)	CN	Description
2,428	98	Walks, HSG A
6,242	39	>75% Grass cover, Good, HSG A
8,670	56	Weighted Average
6,242	39	72.00% Pervious Area
2,428	98	28.00% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
10.0					Direct Entry,

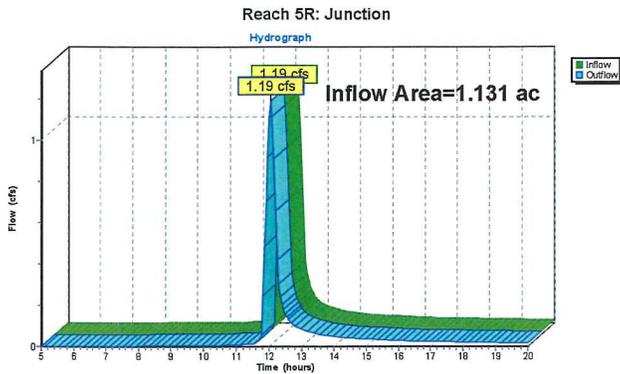
Subcatchment 8S: Post developed Park



Summary for Reach 5R: Junction

Inflow Area = 1.131 ac, 68.76% Impervious, Inflow Depth > 0.65" for 1.5" event
 Inflow = 1.19 cfs @ 12.05 hrs, Volume= 0.062 af
 Outflow = 1.19 cfs @ 12.05 hrs, Volume= 0.062 af, Atten= 0%, Lag= 0.0 min

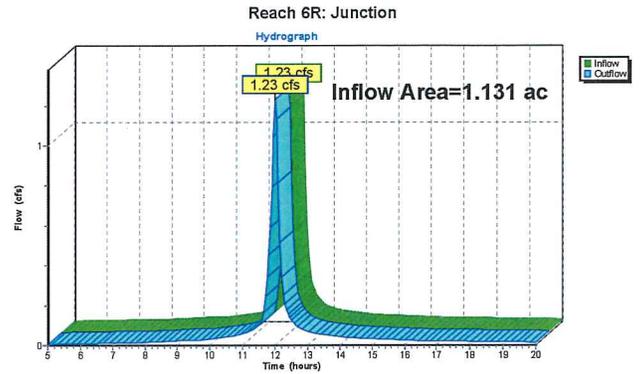
Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs



Summary for Reach 6R: Junction

Inflow Area = 1.131 ac, 61.40% Impervious, Inflow Depth > 0.74" for 1.5" event
 Inflow = 1.23 cfs @ 12.01 hrs, Volume= 0.069 af
 Outflow = 1.23 cfs @ 12.01 hrs, Volume= 0.069 af, Atten= 0%, Lag= 0.0 min

Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs



Summary for Pond 3P: (new Pond)

Inflow Area = 0.681 ac, 100.00% Impervious, Inflow Depth > 1.20" for 1.5" event
 Inflow = 1.21 cfs @ 12.01 hrs, Volume= 0.068 af
 Outflow = 1.04 cfs @ 12.06 hrs, Volume= 0.052 af, Atten= 14%, Lag= 3.2 min
 Primary = 1.04 cfs @ 12.06 hrs, Volume= 0.052 af

Routing by Stor-Ind method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Peak Elev= 695.03' @ 12.06 hrs Surf.Area= 270 sf Storage= 930 cf

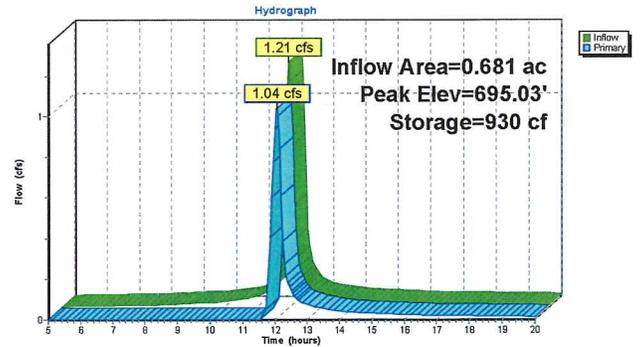
Plug-Flow detention time= 105.8 min calculated for 0.052 af (76% of inflow)
 Center-of-Mass det. time= 48.4 min (794.6 - 746.3)

Volume	Invert	Avail.Storage	Storage Description
#1	691.58'	1,809 cf	Custom Stage Data (Prismatic) Listed below x 2
Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
691.58	135	0	0
698.28	135	904	904

Device	Routing	Invert	Outlet Devices
#1	Primary	691.40'	18.0" Round Culvert L= 36.0' RCP, groove end projecting, Ke= 0.200 Inlet / Outlet Invert= 691.40' / 690.00' S= 0.0389 1' Cc= 0.900 n= 0.012, Flow Area= 1.77 sf
#2	Device 1	694.08'	7.0" Vert. Orifice/Grate C= 0.600
#3	Device 1	696.08'	7.0" Vert. Orifice/Grate C= 0.600

Primary OutFlow Max=1.03 cfs @ 12.06 hrs HW=695.01' (Free Discharge)
 1=Culvert (Passes 1.03 cfs of 17.99 cfs potential flow)
 2=Orifice/Grate (Orifice Controls 1.03 cfs @ 3.85 fps)
 3=Orifice/Grate (Controls 0.00 cfs)

Pond 3P: (new Pond)



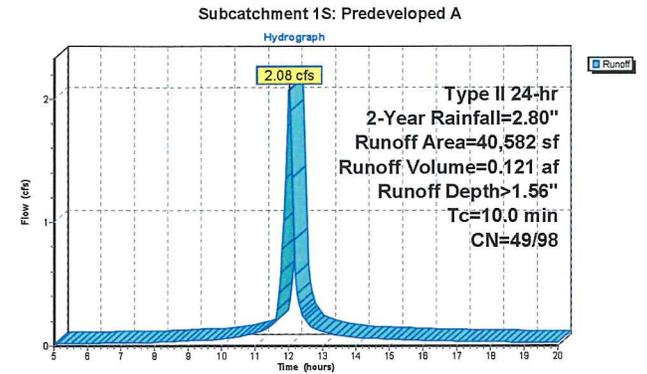
Summary for Subcatchment 1S: Predeveloped A

Runoff = 2.08 cfs @ 12.01 hrs, Volume= 0.121 af, Depth> 1.56"

Runoff by SCS TR-20 method, UH=SCS, Split Pervious/Imperv., Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Type II 24-hr 2-Year Rainfall=2.80"

Area (sf)	CN	Description
11,622	98	Roofs, HSG A
11,233	98	Paved parking, HSG A
3,514	98	Walks/patio, HSG A
14,213	49	50-75% Grass cover, Fair, HSG A
40,582	81	Weighted Average
14,213	49	35.02% Pervious Area
26,369	98	64.98% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
10.0					Direct Entry,



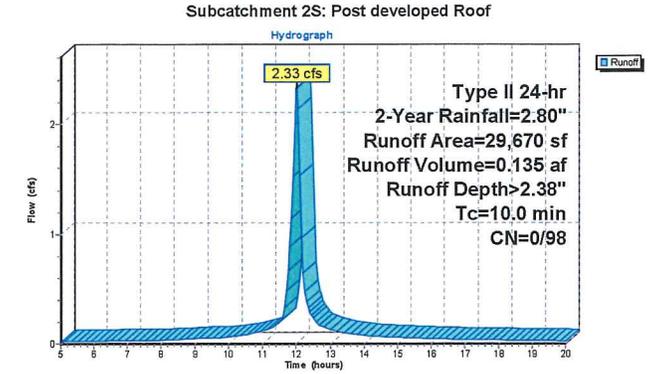
Summary for Subcatchment 2S: Post developed Roof

Runoff = 2.33 cfs @ 12.01 hrs, Volume= 0.135 af, Depth> 2.38"

Runoff by SCS TR-20 method, UH=SCS, Split Pervious/Imperv., Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Type II 24-hr 2-Year Rainfall=2.80"

Area (sf)	CN	Description
29,670	98	Roofs, HSG A
29,670	98	100.00% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
10.0					Direct Entry,



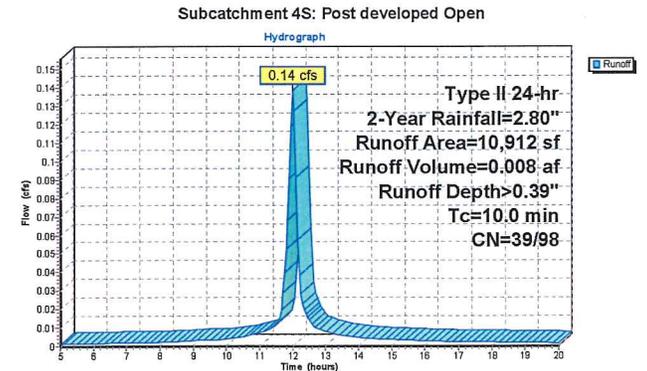
Summary for Subcatchment 4S: Post developed Open

Runoff = 0.14 cfs @ 12.01 hrs, Volume= 0.008 af, Depth> 0.39"

Runoff by SCS TR-20 method, UH=SCS, Split Pervious/Imperv., Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Type II 24-hr 2-Year Rainfall=2.80"

Area (sf)	CN	Description
1,766	98	Walks, HSG A
9,146	39	>75% Grass cover, Good, HSG A
10,912	49	Weighted Average
9,146	39	83.82% Pervious Area
1,766	98	16.18% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
10.0					Direct Entry,



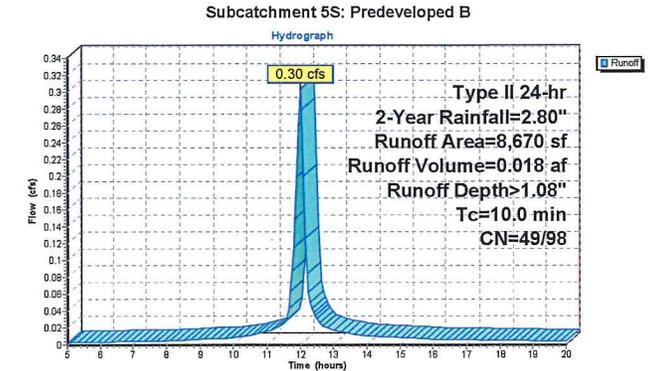
Summary for Subcatchment 5S: Predeveloped B

Runoff = 0.30 cfs @ 12.01 hrs, Volume= 0.018 af, Depth> 1.08"

Runoff by SCS TR-20 method, UH=SCS, Split Pervious/Imperv., Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Type II 24-hr 2-Year Rainfall=2.80"

Area (sf)	CN	Description
3,873	98	Paved parking, HSG A
4,797	49	50-75% Grass cover, Fair, HSG A
8,670	71	Weighted Average
4,797	49	55.33% Pervious Area
3,873	98	44.67% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
10.0					Direct Entry,

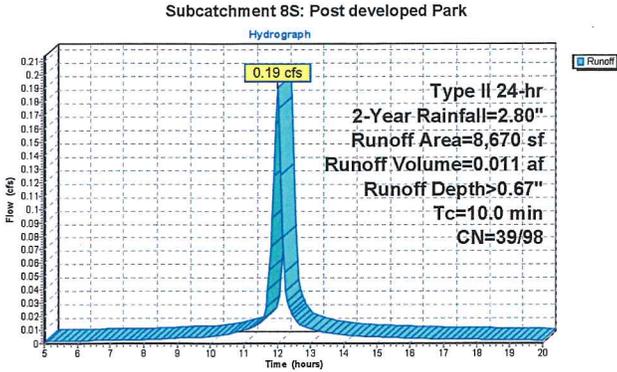


Summary for Subcatchment 8S: Post developed Park

Runoff = 0.19 cfs @ 12.01 hrs, Volume= 0.011 af, Depth> 0.67"
 Runoff by SCS TR-20 method, UH=SCS, Split Pervious/Imperv., Time Span=5.00-20.00 hrs, dt=0.05 hrs
 Type II 24-hr 2-Year Rainfall=2.80"

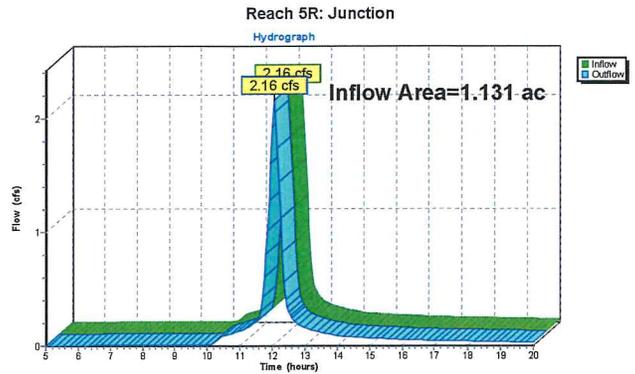
Area (sf)	CN	Description
2,428	98	Walks, HSG A
6,242	39	>75% Grass cover, Good, HSG A
8,670	56	Weighted Average
6,242	39	72.00% Pervious Area
2,428	98	28.00% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
10.0					Direct Entry,



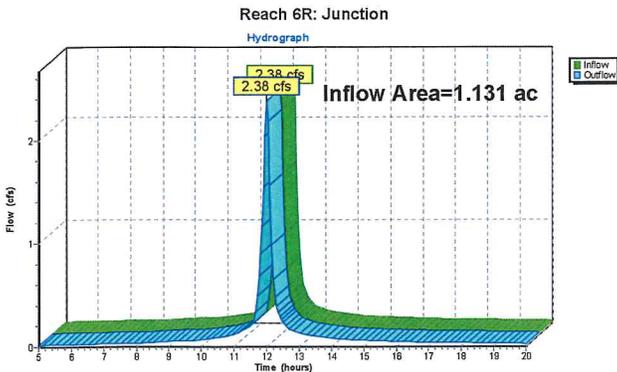
Summary for Reach 5R: Junction

Inflow Area = 1.131 ac, 68.76% Impervious, Inflow Depth > 1.47" for 2-Year event
 Inflow = 2.16 cfs @ 12.06 hrs, Volume= 0.138 af
 Outflow = 2.16 cfs @ 12.06 hrs, Volume= 0.138 af, Atten= 0%, Lag= 0.0 min
 Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs



Summary for Reach 6R: Junction

Inflow Area = 1.131 ac, 61.40% Impervious, Inflow Depth > 1.47" for 2-Year event
 Inflow = 2.38 cfs @ 12.01 hrs, Volume= 0.139 af
 Outflow = 2.38 cfs @ 12.01 hrs, Volume= 0.139 af, Atten= 0%, Lag= 0.0 min
 Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs



Summary for Pond 3P: (new Pond)

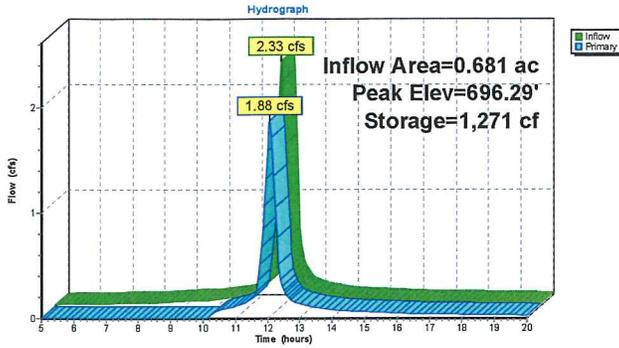
Inflow Area = 0.681 ac, 100.00% Impervious, Inflow Depth > 2.38" for 2-Year event
 Inflow = 2.33 cfs @ 12.01 hrs, Volume= 0.135 af
 Outflow = 1.88 cfs @ 12.07 hrs, Volume= 0.119 af, Atten= 19%, Lag= 4.0 min
 Primary = 1.88 cfs @ 12.07 hrs, Volume= 0.119 af
 Routing by Stor-Ind method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Peak Elev= 696.29' @ 12.07 hrs Surf.Area= 270 sf Storage= 1,271 cf
 Plug-Flow detention time= 77.0 min calculated for 0.119 af (88% of inflow)
 Center-of-Mass det. time= 37.4 min (774.8 - 737.4)

Volume	Invert	Avail. Storage	Storage Description
#1	691.58'	1,809 cf	Custom Stage Data (Prismatic) Listed below x 2
	Elevation (feet)	Surf. Area (sq-ft)	Inc. Store (cubic-feet)
	691.58	135	0
	696.28	135	904
			904

Device	Routing	Invert	Outlet Devices
#1	Primary	691.40'	18.0" Round Culvert L= 36.0' RCP, groove end projecting, Ke= 0.200 Inlet / Outlet Invert= 691.40' / 690.00' S= 0.0389 1' Cc= 0.900 n= 0.012, Flow Area= 1.77 sf
#2	Device 1	694.08'	7.0" Vert. Orifice/Grate C= 0.600
#3	Device 1	696.08'	7.0" Vert. Orifice/Grate C= 0.600

Primary Outflow Max= 1.85 cfs @ 12.07 hrs HW= 696.24' (Free Discharge)
 1= Culvert (Passes 1.85 cfs of 21.52 cfs potential flow)
 2= Orifice/Grate (Orifice Controls 1.76 cfs @ 6.59 fps)
 3= Orifice/Grate (Orifice Controls 0.08 cfs @ 1.38 fps)

Pond 3P: (new Pond)



Summary for Subcatchment 1S: Predeveloped A

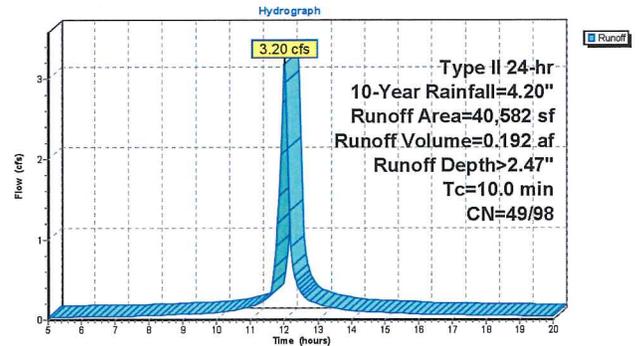
Runoff = 3.20 cfs @ 12.01 hrs, Volume= 0.192 af, Depth> 2.47"

Runoff by SCS TR-20 method, UH=SCS, Split Pervious/Imperv., Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Type II 24-hr 10-Year Rainfall=4.20"

Area (sf)	CN	Description
11,622	98	Roofs, HSG A
11,233	98	Paved parking, HSG A
3,514	98	Walks/patio, HSG A
14,213	49	50-75% Grass cover, Fair, HSG A
40,582	81	Weighted Average
14,213	49	35.02% Pervious Area
26,369	98	64.98% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
10.0					Direct Entry,

Subcatchment 1S: Predeveloped A



Summary for Subcatchment 2S: Post developed Roof

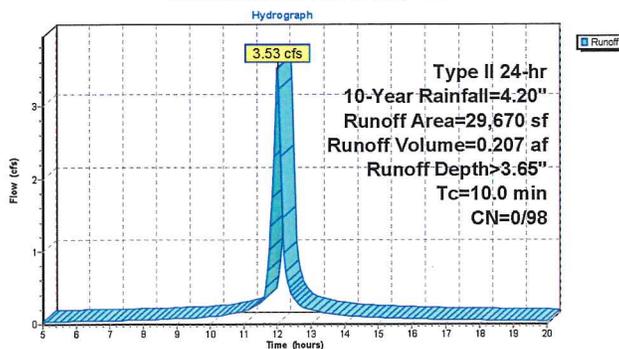
Runoff = 3.53 cfs @ 12.01 hrs, Volume= 0.207 af, Depth> 3.65"

Runoff by SCS TR-20 method, UH=SCS, Split Pervious/Imperv., Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Type II 24-hr 10-Year Rainfall=4.20"

Area (sf)	CN	Description
29,670	98	Roofs, HSG A
29,670	98	100.00% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
10.0					Direct Entry,

Subcatchment 2S: Post developed Roof



Summary for Subcatchment 4S: Post developed Open

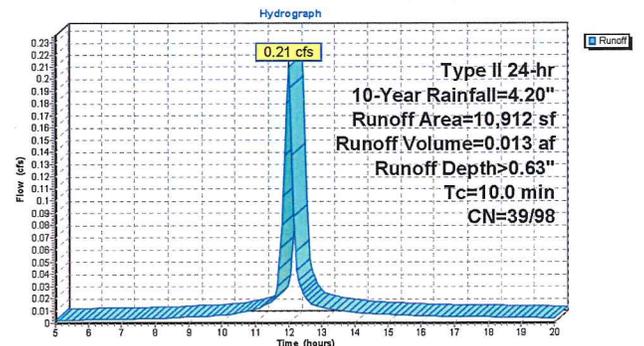
Runoff = 0.21 cfs @ 12.01 hrs, Volume= 0.013 af, Depth> 0.63"

Runoff by SCS TR-20 method, UH=SCS, Split Pervious/Imperv., Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Type II 24-hr 10-Year Rainfall=4.20"

Area (sf)	CN	Description
1,766	98	Walks, HSG A
9,146	39	>75% Grass cover, Good, HSG A
10,912	49	Weighted Average
9,146	39	83.82% Pervious Area
1,766	98	16.18% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
10.0					Direct Entry,

Subcatchment 4S: Post developed Open



Summary for Subcatchment 5S: Predeveloped B

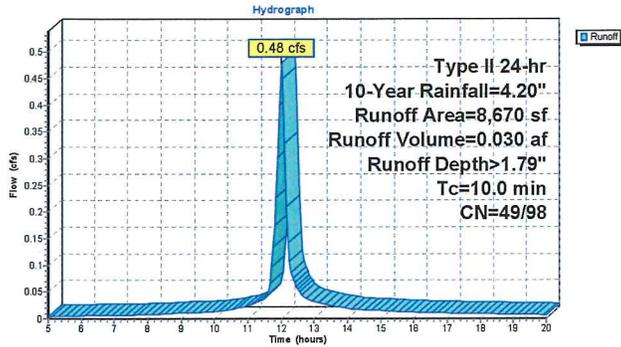
Runoff = 0.48 cfs @ 12.01 hrs, Volume= 0.030 af, Depth> 1.79"

Runoff by SCS TR-20 method, UH=SCS, Split Pervious/Imperv., Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Type II 24-hr 10-Year Rainfall=4.20"

Area (sf)	CN	Description
3,873	98	Paved parking, HSG A
4,797	49	50-75% Grass cover, Fair, HSG A
8,670	71	Weighted Average
4,797	49	55.33% Pervious Area
3,873	98	44.67% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
10.0					Direct Entry,

Subcatchment 5S: Predeveloped B



Summary for Subcatchment 8S: Post developed Park

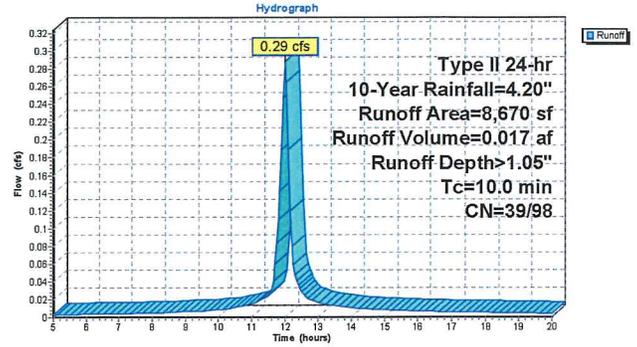
Runoff = 0.29 cfs @ 12.01 hrs, Volume= 0.017 af, Depth> 1.05"

Runoff by SCS TR-20 method, UH=SCS, Split Pervious/Imperv., Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Type II 24-hr 10-Year Rainfall=4.20"

Area (sf)	CN	Description
2,428	98	Walks, HSG A
6,242	39	>75% Grass cover, Good, HSG A
8,670	56	Weighted Average
6,242	39	72.00% Pervious Area
2,428	98	28.00% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
10.0					Direct Entry,

Subcatchment 8S: Post developed Park

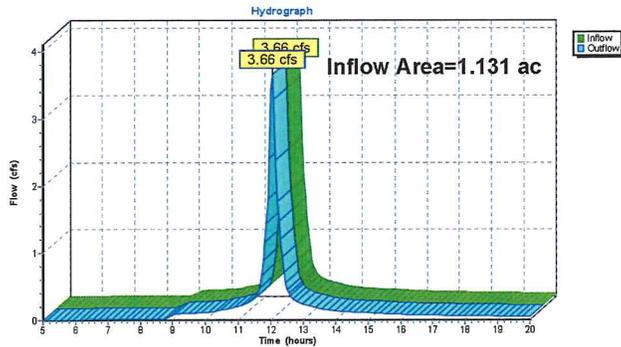


Summary for Reach 5R: Junction

Inflow Area = 1.131 ac, 68.76% Impervious, Inflow Depth > 2.35" for 10-Year event
 Inflow = 3.66 cfs @ 12.04 hrs, Volume= 0.222 af
 Outflow = 3.66 cfs @ 12.04 hrs, Volume= 0.222 af, Atten= 0%, Lag= 0.0 min

Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

Reach 5R: Junction

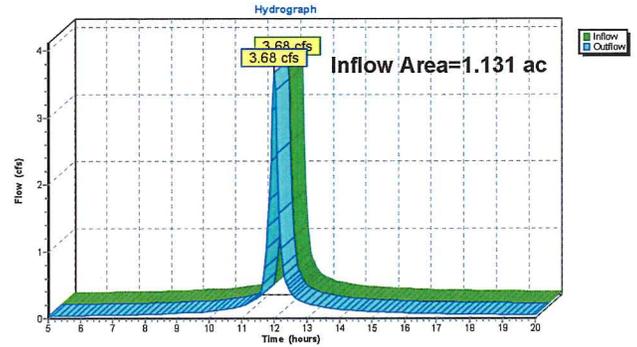


Summary for Reach 6R: Junction

Inflow Area = 1.131 ac, 61.40% Impervious, Inflow Depth > 2.35" for 10-Year event
 Inflow = 3.68 cfs @ 12.01 hrs, Volume= 0.222 af
 Outflow = 3.68 cfs @ 12.01 hrs, Volume= 0.222 af, Atten= 0%, Lag= 0.0 min

Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

Reach 6R: Junction



Summary for Pond 3P: (new Pond)

Inflow Area = 0.681 ac, 100.00% Impervious, Inflow Depth > 3.65" for 10-Year event
 Inflow = 3.53 cfs @ 12.01 hrs, Volume= 0.207 af
 Outflow = 3.20 cfs @ 12.05 hrs, Volume= 0.191 af, Atten= 9%, Lag= 2.6 min
 Primary = 3.20 cfs @ 12.05 hrs, Volume= 0.191 af

Routing by Stor-Ind method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Peak Elev= 697.08' @ 12.05 hrs Surf.Area= 270 sf Storage= 1,485 cf

Plug-Flow detention time= 58.7 min calculated for 0.191 af (92% of inflow)
 Center-of-Mass det. time= 29.3 min (763.3 - 734.0)

Volume #1	Invert	Avail. Storage	Storage Description
691.58'	1,809 cf	Custom Stage Data (Prismatic) Listed below x 2	

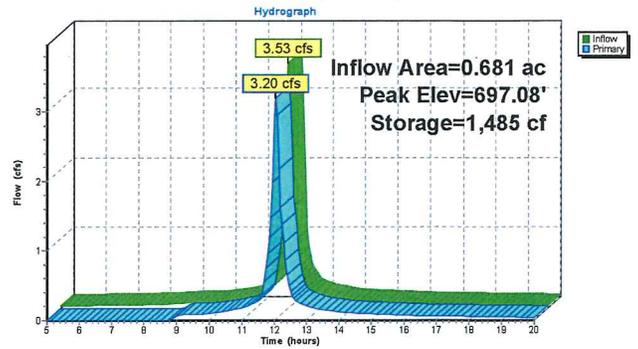
Elevation (feet)	Surf. Area (sq-ft)	Inc. Store (cubic-feet)	Cum. Store (cubic-feet)
691.58	135	0	0
698.28	135	904	904

Device	Routing	Invert	Outlet Devices
#1	Primary	691.40'	18.0" Round Culvert L= 36.0' RCP, groove end projecting, Ke= 0.200 Inlet / Outlet Invert= 691.40' / 690.00' S= 0.0389' / Cc= 0.900 n= 0.012, Flow Area= 1.77 sf
#2	Device 1	694.08'	7.0" Vert. Orifice/Grate C= 0.600
#3	Device 1	696.08'	7.0" Vert. Orifice/Grate C= 0.600

Primary OutFlow Max=3.20 cfs @ 12.05 hrs HW=697.08' (Free Discharge)

- 1= Culvert (Passes 3.20 cfs of 23.61 cfs potential flow)
- 2= Orifice/Grate (Orifice Controls 2.12 cfs @ 7.92 fps)
- 3= Orifice/Grate (Orifice Controls 1.08 cfs @ 4.04 fps)

Pond 3P: (new Pond)



Summary for Subcatchment 1S: Predeveloped A

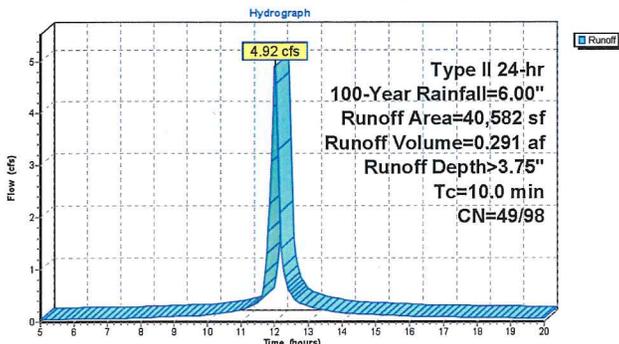
Runoff = 4.92 cfs @ 12.01 hrs, Volume= 0.291 af, Depth> 3.75"

Runoff by SCS TR-20 method, UH=SCS, Split Pervious/Imperv., Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Type II 24-hr 100-Year Rainfall=6.00"

Area (sf)	CN	Description
11,622	98	Roofs, HSG A
11,233	98	Paved parking, HSG A
3,514	98	Walks/patio, HSG A
14,213	49	50-75% Grass cover, Fair, HSG A
40,582	81	Weighted Average
14,213	49	35.02% Pervious Area
26,369	98	64.98% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
10.0					Direct Entry,

Subcatchment 1S: Predeveloped A



Summary for Subcatchment 2S: Post developed Roof

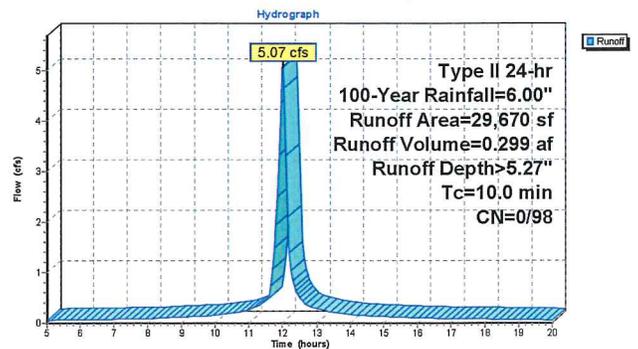
Runoff = 5.07 cfs @ 12.01 hrs, Volume= 0.299 af, Depth> 5.27"

Runoff by SCS TR-20 method, UH=SCS, Split Pervious/Imperv., Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Type II 24-hr 100-Year Rainfall=6.00"

Area (sf)	CN	Description
29,670	98	Roofs, HSG A
29,670	98	100.00% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
10.0					Direct Entry,

Subcatchment 2S: Post developed Roof



Summary for Subcatchment 4S: Post developed Open

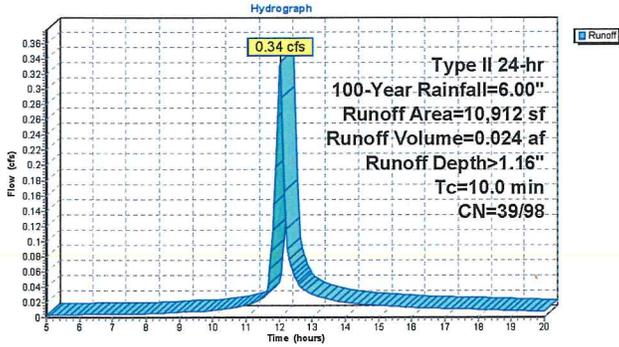
Runoff = 0.34 cfs @ 12.02 hrs, Volume= 0.024 af, Depth> 1.16"

Runoff by SCS TR-20 method, UH=SCS, Split Pervious/Imperv., Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Type II 24-hr 100-Year Rainfall=6.00"

Area (sf)	CN	Description
1,766	98	Walks, HSG A
9,146	39	>75% Grass cover, Good, HSG A
10,912	49	Weighted Average
9,146	39	83.82% Pervious Area
1,766	98	16.18% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
10.0					Direct Entry,

Subcatchment 4S: Post developed Open



Summary for Subcatchment 5S: Predeveloped B

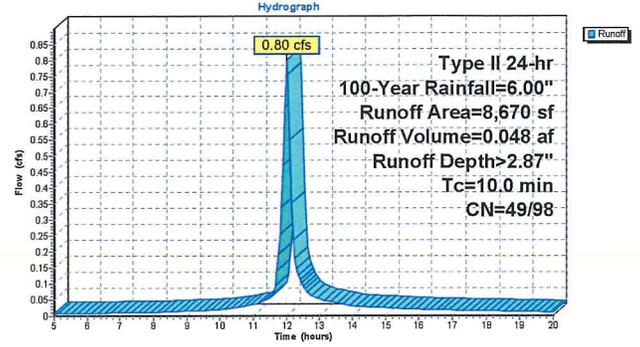
Runoff = 0.80 cfs @ 12.01 hrs, Volume= 0.048 af, Depth> 2.87"

Runoff by SCS TR-20 method, UH=SCS, Split Pervious/Imperv., Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Type II 24-hr 100-Year Rainfall=6.00"

Area (sf)	CN	Description
3,873	98	Paved parking, HSG A
4,797	49	50-75% Grass cover, Fair, HSG A
8,670	71	Weighted Average
4,797	49	55.33% Pervious Area
3,873	98	44.67% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
10.0					Direct Entry,

Subcatchment 5S: Predeveloped B



Summary for Subcatchment 8S: Post developed Park

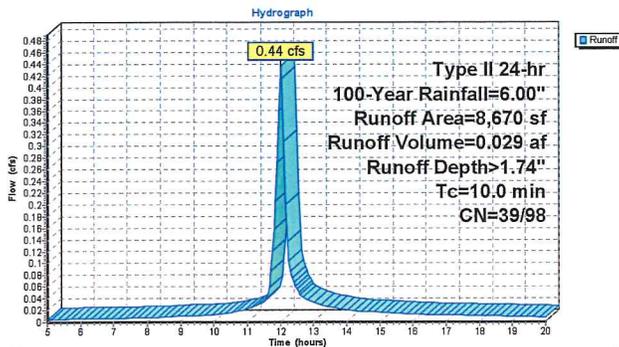
Runoff = 0.44 cfs @ 12.02 hrs, Volume= 0.029 af, Depth> 1.74"

Runoff by SCS TR-20 method, UH=SCS, Split Pervious/Imperv., Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Type II 24-hr 100-Year Rainfall=6.00"

Area (sf)	CN	Description
2,428	98	Walks, HSG A
6,242	39	>75% Grass cover, Good, HSG A
8,670	56	Weighted Average
6,242	39	72.00% Pervious Area
2,428	98	28.00% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
10.0					Direct Entry,

Subcatchment 8S: Post developed Park

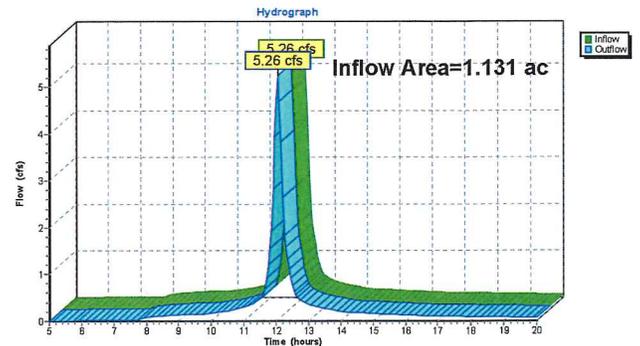


Summary for Reach 5R: Junction

Inflow Area = 1.131 ac, 68.76% Impervious, Inflow Depth > 3.56" for 100-Year event
 Inflow = 5.26 cfs @ 12.05 hrs, Volume= 0.336 af
 Outflow = 5.26 cfs @ 12.05 hrs, Volume= 0.336 af, Atten= 0%, Lag= 0.0 min

Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

Reach 5R: Junction

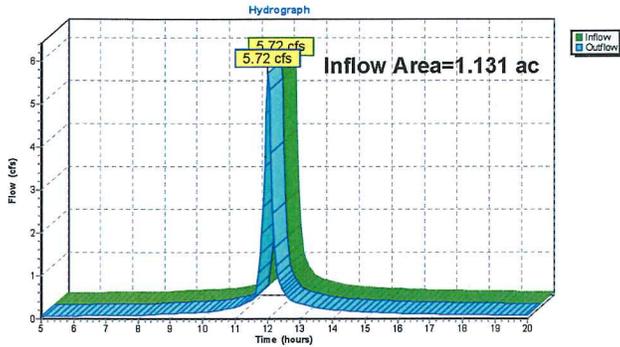


Summary for Reach 6R: Junction

Inflow Area = 1.131 ac, 61.40% Impervious, Inflow Depth > 3.60" for 100-Year event
 Inflow = 5.72 cfs @ 12.01 hrs, Volume= 0.339 af
 Outflow = 5.72 cfs @ 12.01 hrs, Volume= 0.339 af, Atten=0%, Lag=0.0 min

Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

Reach 6R: Junction



Summary for Pond 3P: (new Pond)

Inflow Area = 0.681 ac, 100.00% Impervious, Inflow Depth > 5.27" for 100-Year event
 Inflow = 5.07 cfs @ 12.01 hrs, Volume= 0.299 af
 Outflow = 4.52 cfs @ 12.05 hrs, Volume= 0.283 af, Atten= 11%, Lag= 2.9 min
 Primary = 4.52 cfs @ 12.05 hrs, Volume= 0.283 af

Routing by Stor-Ind method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Peak Elev= 698.53' @ 12.05 hrs Surf.Area= 270 sf Storage= 1,809 cf

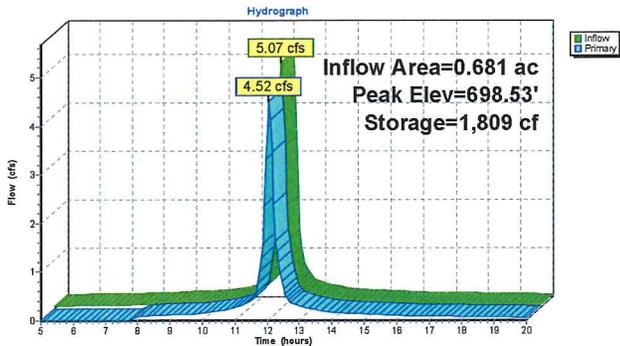
Plug-Flow detention time= 45.1 min calculated for 0.283 af (95% of inflow)
 Center-of-Mass det. time= 23.0 min (755.1 - 732.1)

Volume	Invert	Avail.Storage	Storage Description
#1	691.58'	1,809 cf	Custom Stage Data (Prismatic)Listed below x 2
Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
691.58	135	0	0
698.28	135	904	904

Device	Routing	Invert	Outlet Devices
#1	Primary	691.40'	18.0" Round Culvert L= 36.0' RCP, groove end projecting, Ke= 0.200 Inlet / Outlet Invert= 691.40' / 690.00' S= 0.0389 1' Cc= 0.900 n= 0.012, Flow Area= 1.77 sf
#2	Device 1	694.08'	7.0" Vert. Orifice/Grate C= 0.600
#3	Device 1	696.08'	7.0" Vert. Orifice/Grate C= 0.600

Primary OutFlow Max=4.49 cfs @ 12.05 hrs HW=698.49' (Free Discharge)
 1=Culvert (Passes 4.49 cfs of 26.78 cfs potential flow)
 2=Orifice/Grate (Orifice Controls 2.61 cfs @ 9.77 fps)
 3=Orifice/Grate (Orifice Controls 1.87 cfs @ 7.01 fps)

Pond 3P: (new Pond)



Appendix D
Reserved

Appendix E

Site Photos

SITE PHOTOS – August 24, 2016



Standing near U.S.H. 10/Lake Street N looking west at Project Site



Standing at the north end of the property looking south at Project Site

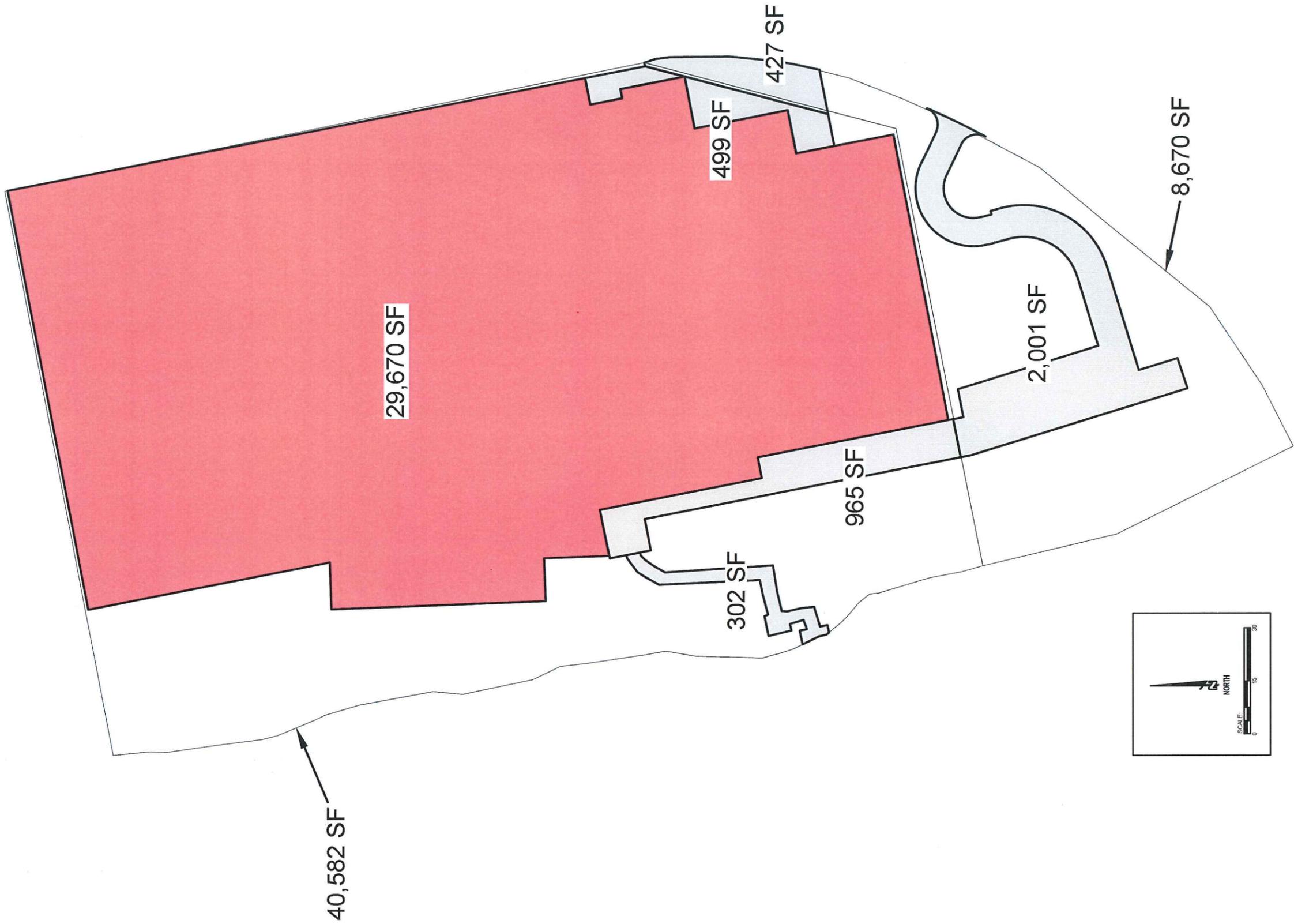


**Standing near the northeast corner of the property
looking southeast at Project Site**

Figure 1
Predeveloped Drainage Map



Figure 2
Post Developed Drainage Map



Municipality	Date Issued	Fee	Permit #	Owner/Contractor Info	Phone	Project/Site Address	Footings	Foundation	Construction	Electrical	Plumbing	HVAC	Insulation	Erosion	Other	Final	
Prescott	6/1/09	\$200.00	yes 35-09	Alton Haraldson 825 River Terrace Prescott, WI 54021	651-428-8749	Bathroom 825 River Terrace			5/17/2010	5/17/2010	6/19/2010	5/17/2010			sent letter 2-15-10 5-23-12 Not done needs to renew. Will renew with city 7-5-16		
Prescott	8/1/10	\$100.00	yes 142-10	Brandon Eggers 569 Hillside Drive Prescott, WI 54021	651-226-1770	Deck 569 Hillside Drive									sent letter 3-1-13 letter sent 7/15/14	8/1/14 not completed	
Prescott	05/20/13	\$110.00	yes 448-13	Crystal Nelson Dan Anderson 639 Riverwood Street Prescott, WI 54021	651-747-5013	Deck 639 Riverwood St.									left message 8/12/14 TT Don will be renewal around 8/28/15		
Prescott	09/30/13	\$55.00	yes 543-13	Fred Winkler 370 Dakota St. S. Prescott, WI 54021	715-262-3265	Siding/Windows 370 Dakota St. S. Prescott, WI 54021											
Prescott	6-2-14 10-19-15	110.00 renewed	yes 587-14	Amy Anderson 216 Gibbs St. N. Prescott, WI 54021	715-441-4317	Roofing/Siding 216 Gibbs St. N. Prescott, WI 54021									Expires 10-26-16		
Prescott	9/15/2014	1029.50 + seal	yes 616-14	Brandon & Corinna Wilde 1020 Lake St. Prescott, WI 54021		New Home 1020 Lake St. Prescott, WI 54021	1/26/2015								10-13-14 meet on site		
Prescott	9/23/2014	\$55.00	yes 621-14	Don Sabelko 438 Orange St. Prescott, WI 54021	715-262-3123	Shed 438 Orange St. Prescott, WI 54021										12/2/15 Failed	
Prescott	10/15/2014	\$55.00 renewal \$27.50	yes 632-14 NIC 713-15	Patrick Pachacek 540 Canton Street Prescott, WI 54021	612-270-1400	Roof 540 Canton Street Prescott, WI 54021										renewed for him to finish other part 10-12-15	12/19/2014 part
Prescott	10/31/14	\$245.00	yes 640-14	Mark & Bernice Amling 1821 Canton Rd. Prescott, WI 54021	715-262-2342	Fish Basement 1821 Canton Rd. Prescott, WI 54021			3/2/2015	8/28/2015	3/2/2015						
Prescott	12/4/14	\$1,003.00	yes 641-14	Sally Zastrow / Schillingen 1063 Monroe St. Prescott, WI 54021	715-262-5415	Major alteration Addition 1063 Monroe St. Prescott, WI 54021	12/18/2014			2/13/2015	12/28/14 UG 2/13/15	2/13/2015	2/16/2015				
Prescott	5/13/15	\$15,338.80	yes 667-15	Prescott High School 1010 Dexter Street Prescott, WI 54021	715-262-5782	New commercial 1010 Dexter Street Prescott, WI 54021	05/13/15 Q3-Q6 R6-R8 05/20/15 E-D 4.6 EE CE	05/14/15 Area A,B,C 3/19/15 PL(3)wall LJ(4.6- 2)Footing	05/05/15 Area B 05/14/15 Area A,B,C 05/21/15 LA - H8	6/5/2015 11/30/15 01/27/16 02/04/16 office	5-11-15UG 5-12- 15UG 5-19-15 UG 5-25-15 05/27/15UG 06/02/15 East	11/30/2015 01/27/16 02/4/16 03/09/16 above ceiling bidg 1	5/27/2015 06/02/15 4-22-16 East 06/05/15 06/17/15 trash	02/11/16 poly-common area(partial) Above Callings A111,A114,A116,A117 06/28/16 misc locker rooms	6-30-16 Walk through with state inspector and fire inspector 09/10/16 Failed 06/17/16 temp occ.		
Prescott	6/5/15	\$675.00	yes 673-15	Kelly Geister 220 Broad Street N Prescott, WI 54021		Commercial Alteration 214 Front Street Prescott, WI 54021			7/27/2015 01/29/16	1/29/2016	7/27/2015 01/29/16				bill end july still did not pay - bill August	02/26/16 Failed	
Prescott	6/12/15	\$135.00	yes 679-15	Jay Carlson 104 N. Court St. Prescott, WI 54021	651-214-1801	Deck 104 N. Court St. Prescott, WI 54021									VM 11-19-15	02/26/16 Failed	
Prescott	8/14/2015	\$135.00	yes 699-15	Dorthea Morris 183 Dexter St. Prescott, WI 54021	612-716-7901	Deck 183 Dexter St. Prescott, WI 54021											
Prescott	8/26/2015	\$190.00	yes 702-15	Robert Paulson 630 N. Linn Prescott, WI 54021	715-232-4814	3 season Porch 630 N. Linn Prescott, WI			10/1/2015	5/18/2016			8/22/2016				
Prescott	9/15/2015	\$55.00	yes 705-15	Jeremiah Burton 840 Pearl St. Prescott, WI 54021	651-428-4326	Roof 840 Pearl St. Prescott, WI										11/24/15 Failed	
Prescott	12/5/2008 RENEWED 4-30-14 3/25/15 RENEW	\$175.00	yes 28-08 437-13 652-15	Jerry & Collette Szlha 452 Elm Street Prescott, WI 54021	715-262-4170	Addition 452 Elm Street	12/10/2008	12/11/2008	3/30/2009 4-6-09	4/6/2009		4/6/2009	9/14/2009		12-10-08 setbacks 2-24-10 called. 9/21/12 fail no work done		
Prescott	10/19/2015	\$55.00	yes 714-15	Bruce Martin Renewal by Anderson 1920 County Rd C West Roseville, MN 55113	651-264-4088	Window Replacement 677 - Jefferson St Prescott, WI											
Prescott	11/1/2015	\$55.00	yes 715-15	Haly Cofer Systems 122 W. 3rd St. Hasling, MN 55033	651-437-0338	Gas Stove 1504 River Terrace St Prescott, WI											
Prescott	1/20/2016	\$575.00	yes 720-16	Edge Builder Wall Panels 1607 Pine St. Prescott, WI 54021	612-363-7697	Commercial Alteration 1607 Pine St. Prescott, WI 54021				9/21/2016	07/01/16 UG 07/09/16 UG 09/21/16						
Prescott	1/28/2016	\$110.00	yes 721-16	Bjorn Kadlec 953 Washington St. Prescott, WI 54021	651-408-4286	Alteration 953 Washington St. Prescott, WI			5/20/2016 05/27/16	5/20/2016 05/27/16		5/20/2016	5/27/2016				
Prescott	2/16/2016	\$300.00	yes 722-16	Mark & Kelly Poff Willstock Builders LLC P O Box 395 Somerset, WI 54025	715-760-0233 AI	Alteration 6011 College Rd Prescott, WI			3/1/2016	3/1/2016	3/1/2016		3/1/2016				

