

CITY OF PRESCOTT, WISCONSIN  
MEETING NOTICE  
REGULAR CITY COUNCIL MEETING  
TUESDAY, DECEMBER 27, 2016 AT 6:30 P.M.  
PRESCOTT MUNICIPAL BUILDING, 800 BORNER STREET  
PRESCOTT, WI 54021  
WEBSITE: PRESCOTTWI.ORG

AGENDA

1. CALL TO ORDER
2. ROLL CALL
3. PLEDGE OF ALLEGIANCE
4. PUBLIC COMMENTS – THE CITY COUNCIL WILL RECEIVE PUBLIC COMMENTS ON ANY ISSUE(S) NOT RELATED TO AGENDA ITEMS. LIMITED DISCUSSION BY THE CITY COUNCIL MAY TAKE PLACE, HOWEVER NO ACTION WILL BE TAKEN ON ANY ITEMS. THIS INCLUDES RECEIVING WRITTEN REQUESTS OR DOCUMENTATION AND POSSIBLE ACTION AT A FUTURE COUNCIL MEETING
5. CONSENT AGENDA
  1. REGULAR CITY COUNCIL MEETING MINUTES DECEMBER 12, 2016
  2. PRESCOTT PUBLIC LIBRARY BOARD OF TRUSTEE MEETING MINUTES NOVEMBER 17, 2016
6. REPORTS OF STANDING COMMITTEES
  - A. PLANNING COMMISSION
    1. SITE, GRADING, EROSION CONTROL, UTILITY, STORMWATER AND BUILDING PLAN FOR VISTA CROIX DEVELOPMENT
    2. SITE, GRADING, EROSION CONTROL, UTILITY, STORMWATER AND BUILDING PLAN FOR DIVERSIFIED MANUFACTURING CORPORATION
  - B. FINANCE COMMITTEE
    1. BUILDING INSPECTOR CONTRACT FOR 2017
  - C. PUBLIC WORKS
  - D. LICENSE
  - E. ORDINANCE
  - F. PERSONNEL
  - G. HEALTH & SAFETY
  - I. PARKS & PUBLIC PROPERTY
  - J. COMMUNICATIONS & NEW BUSINESS
    1. PUBLIC COMMENTS
    2. WISCONSIN TAXPAYERS ALLIANCE
    3. OTHER BUSINESS
    4. ADJOURNMENT

NOTICE

ACCESS TO THE MUNICIPAL BUILDING FOR THE DISABLED IS AVAILABLE THROUGH THE REAR PARKING LOT ENTRANCE. ALL THOSE WITH SPECIAL NEEDS SHOULD CALL CITY HALL OFFICES (715-262-5544) IF ASSISTANCE IS NEEDED

DECEMBER 12, 2016 REGULAR CITY COUNCIL MEETING MINUTES

Pursuant to due call and notice thereof, a regular meeting of the Prescott City Council was held on Monday, December 12, 2016 in the Prescott Municipal Building, 800 Borner St., Prescott, WI 54021.

Call to order/Roll Call: Mayor David Hovel called the meeting to order at 6:30 p.m. Members present were Galen Seipel, Rob Daugherty, Bill Dravis, Maureen Otwell, Joshua Gergen and Jack Hoschette. City Administrator Jayne Brand represented staff. Also present Greg Adams and Seth Hudson of Cedar Corporation.

Pledge of Allegiance was said.

Public Comments: None were given.

**Dravis/Gergen motion to approve the consent agenda which includes approval of regular city council meeting minutes for November 28, 2016, parks and public property committee meeting minutes for November 28, 2016, Prescott Housing Authority meeting minutes for November 9, 2016, cash balances, budget year to date, accounts payable, payroll and review of receivables passed without a negative voice vote.**

Erin Most, Administrative Assistant for the Prescott Police Department brought forward a request for funding in the amount of \$16,200 for software which was not allocated in the 2016 budget. The software will allow for Officers to write reports from their vehicles. Currently the Officers have to come back into their office in order to write their reports. The Police Department has nine mobile computers and the software would be put on each of the computers. The cost of the software is \$1,800 per license. **Daugherty/Dravis motion to approve the purchase of the software at the cost of \$16,200 to come out the Police Department budget and any shortfall to come out contingency passed without a negative voice vote.**

**Gergen/Dravis motion to approve cost of living increase of 1.9% to Paul's Industrial Garage passed without a negative voice vote.** Alderperson Otwell asked to have a report on how much recycling is done in the city.

**Otwell/Gergen motion to approve \$2,000 for professional services with Essex Capital for economic development with funds coming from TIF passed without a negative voice vote.**

**Otwell/Gergen motion to approve contract with Chosen Valley Testing in the amount of \$10,785 for soil borings for Eagle Ridge Business Park passed without a negative voice vote.**

**Gergen/Dravis motion to approve Resolution 15-16 "A resolution authorizing the submission of Wisconsin Department of Transportation facilities for economic assistance (TEA) grant application" passed without a negative voice vote.**

**Gergen/Dravis motion to approve operator license for Kenzie L. Johnson passed without a negative voice vote.**

**Gergen/Seipel motion to approve Susan Oney and Jennifer Hanson to Prescott Public Library Board passed without a negative voice vote.**

Next Council meeting set for Tuesday, December 27<sup>th</sup>.

**Gergen/Dravis motion to go into closed session per Wisconsin Stats. 19.85 (1) (e) Deliberating or negotiating the purchasing of public properties, the investing of public funds, or conducting other specified public business whenever competitive or bargaining reasons require a closed session – developer agreement with Diversified Manufacturing passed unanimously via roll call vote.**

**Gergen/Daugherty motion to come out of closed session passed unanimously via roll call vote.**

Staff was directed to move forward as discussed in closed session.

**Gergen/Daugherty motion to adjourn passed without a negative voice vote.**

Respectfully Submitted,

Jayne M. Brand  
City Administrator

**Prescott Public Library Board of Trustees  
Monthly Meeting Minutes  
November 17, 2016**

**Present:** Anne Kressly, Charity Lubich, Jane Enright, Kate Otto, Jim Baran, Galen Seipel

**Absent:** Colleen Harris

**Call to Order:** Vice President Kressly called the meeting to order 6:30pm. with a roll call of Board members confirming that a quorum was present. This meeting is in compliance with the open meeting law.

**Agenda:** A motion to approve the agenda for November 17, 2016 was made by Galen Seipel, seconded by Jim Baran, and carried.

**Approval of Minutes:**

A motion to approve the October 13 and October 20, 2016 meeting minutes was made by Galen Seipel, seconded by Kate Otto, and carried.

**Director's Report  
November 2016**

**October 2016 Programming Statistics**

**Event Attendance**

Age Levels	Storytime (6)	Family Storytime Plus Full STEAM Ahead	Coloring Craze	Tail Waggin' Tutors (2)	Totals
Adults	55	2	3	0	60
Teens	0	0	0	0	0
Children	71	4	0	5	80
<b>Totals</b>	<b>126</b>	<b>6</b>	<b>3</b>	<b>5</b>	<b>140</b>

Number of times event occurred is (1), unless otherwise noted.

**Outreach**

Activity	Location	Date(s)	Attendance			Total
			Adults	Teens	Children	
6 <sup>th</sup> Grade Scavenger Hunt	Prescott Public Library	10/26	5	0	88	93

<b>Totals</b>			<b>5</b>	<b>0</b>	<b>88</b>	<b>93</b>
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**Passive Programs**

	<b>DIY Activity Center</b>		
	<b>VOTE!</b>		
	<b>Favorite Picturebook Character</b>	<b>Favorite Series</b>	<b>Totals</b>
Children	35	37	72
Teens	0	0	0
Adults	0	0	0
<b>Totals</b>	<b>35</b>	<b>37</b>	<b>72</b>

**On-going Programs**

**1000 Books Before Kindergarten** Registrations as of October 31, 2016 = 132  
14 children have completed the program as of  
October 31.

**Total number of people served by Programming and Outreach in October 2016 was 305.**

**Library News and Information**

<b>Revenue</b>	<b>Fines &amp; Fees</b>	<b>Fax &amp; Copies</b>	<b>Book Sales</b>
11/16/16	\$131.14	\$359.40	\$75.60
<b>Door Count</b>	<b>October</b>	<b>2016</b>	<b>2015</b>
		3,031	2,944
<b>Circulation</b>		8,263	7,275
<b>OverDrive Checkouts</b>		452	429
<b>Pharos Sessions</b>		295	304
<b>Wireless Sessions</b>		880	372
<b>Website Visits</b>		879	
<b>New Patrons</b>		27	

**Library News**

City of Prescott Department Managers met on November 14<sup>th</sup>. Public works had the parking lot cracks sealed on Friday, 11/11. Promising energy cost savings, all windows in the Municipal Building, except two in the Mississippi Room, have been treated with a UV film which has resulted in darker interiors and the library windows at night reflecting and distorting like carnival mirrors. LED lighting is supposed to be installed but Trane Company hasn't given an install date. The most crucial renovation to everyone who works in this building is the HVAC system and as yet, there is no start date. For those of

us who labor here, we need a consistent heat source this winter. We all would like the HVAC system to be the first priority. City Council is interested in solar energy for this building. Carpets need cleaning and I will be contacting Stanley Steamer as soon as the HVAC system work is complete as that will create a big mess. Last year's budget included a new phone system. Verizon will soon be our new voice over Internet phone system.

Election Day kept us busy all day long. We served 355 people that day and signed many new patrons up for library cards. The final results of the election are included as part of this report.

Pierce County Board of Supervisors have increased library funding for 2017. A resolution is provided to you that outlines the history of ACT 150 and further explains that we have been pursuing 100% coverage versus the statutory minimum of 70% funding. On October 25, 2016 the Pierce County Board of Supervisors approved contributing for library services in the amount of 75% for the 2017 budget year. It shall revert, however, to the statutory minimum of 70% thereafter unless action is taken by the County to the contrary. This 5% increase will result in an additional \$3,764.50. Please contact your County Supervisors to express your appreciation.

In other budget news, Prescott City Council has agreed to support the library's request for the unfunded need of \$5000.00. The permanent increase of \$5000.00 requested for continued operations and technology needs was denied.

Beginning Monday, November 28<sup>th</sup>, a new high school volunteer will be working with us. Saturdays we have just one employee in the building, which is a safety issue, so she will be scheduled then and as her school schedule permits. Her duties will include cleaning the Mississippi Room, dusting and shelving in the library. Library personnel have slowly been purging the Mississippi Room in preparation for new enclosed storage solutions which will create a more appealing community meeting room. Estimates are provided with this report in the hope that the approval and schedule of the project can commence soon.

It is with sorrow that I have accepted the resignation of the Prescott Public Library Programming Specialist Becky Arenivar. She has accepted a position as a Librarian at the Robert Trail Public Library in Dakota County. Her last day will be Friday, December 2<sup>nd</sup>. Of special note, she expressed that your library staff truly keeps the needs and wants of the Prescott community in our hearts and that we aspire to meet those civic desires. I couldn't agree with her more. So, the search begins.

**A motion to approve the Director's Report was made by Jim Baran, seconded by Charity Lubich, and carried.**

#### **Financial Report:**

A motion to approve the presented paid bills for November 17, 2016 was made by Charity Lubich, seconded by Kate Otto, and carried.

#### **Mississippi Room Plans**

The storage plan bids were reviewed. Additional information is requested.

**Board of Trustee Applicants**

The applications for Board of Trustee candidates were reviewed. Upon recommendation of the Board, Susan Oney and Jennifer Hansen will be presented to the Prescott City Council for appointment.

**2017 Schedule**

The 2017 schedule for holidays, closed days, and board meeting schedules was reviewed.

**Treasurer's Report:**

Kate Otto reported that the Trustee Account balance is \$7425.76.

**Action items for December:**

1. Additional cabinet information is requested.
2. The hiring process will begin for the Library Programming Specialist position and an update is requested.
3. Board of Trustees appointment updates.
4. Suggestions for use of the ACT 150 funds for 2017.

**Adjourn:** A motion to adjourn the meeting at 7:17pm was made by Jim Baran; seconded by Charity Lubich.

Next Meeting: Thursday, December 15, 2016 6:30 p.m.

Respectfully Submitted,  
Charity Lubich  
Secretary

State of Wisconsin  
DEPARTMENT OF NATURAL RESOURCES  
Baldwin Service Center  
890 Spruce Street  
Baldwin, WI 54002

Scott Walker, Governor  
Cathy Stepp, Secretary  
Dan Baumann, Regional Director  
Telephone (715) 684-2914  
FAX (715) 684-5940  
TDD () -



November 2, 2016

Bruce Lenzen  
Riverboat Properties, LLC Site  
106 Buckeye Street, Suite 202  
Hudson WI 54016

SUBJECT: Coverage Under WPDES General Permit No. WI-S067831-05: Construction Site Storm Water Runoff  
Permittee Name: Riverboat Properties, LLC Site  
Site Name: Vistá Croix  
FIN: 58385

Dear Permittee:

The Wisconsin Department of Natural Resources received your Water Resources Application for Project Permits or Notice of Intent, on October 27, 2016, for the Vista Croix site and has evaluated the information provided regarding storm water discharges from your construction site. We have determined that your construction site activities will be regulated under ch. 283, Wis. Stats., ch. NR 216, Wis. Adm. Code, and in accordance with Wisconsin Pollutant Discharge Elimination System (WPDES) General Permit No. WI-S067831-05, Construction Site Storm Water Runoff. All erosion control and storm water management activities undertaken at the site must be done in accordance with the terms and conditions of the general permit.

The **Start Date** of permit coverage for this site is November 02, 2016. The maximum period of permit coverage for this site is limited to 3 years from the **Start Date**. Therefore, permit coverage automatically expires and terminates 3 years from the Start Date and storm water discharges are no longer authorized unless another Notice of Intent and application fee to retain coverage under this permit or a reissued version of this permit is submitted to the Department 14 working days prior to expiration.

A copy of the general permit along with extensive storm water information including technical standards, forms, guidance and other documents is accessible on the Department's storm water program Internet site. To obtain a copy of the general permit, please download it and the associated documents listed below from the following Department Internet site:  
<http://dnr.wi.gov/topic/stormwater/construction/forms.html>

- Construction Site Storm Water Runoff WPDES general permit No. WI-S067831-05
- Construction site inspection report form
- Notice of Termination form

If, for any reason, you are unable to access these documents over the Internet, please contact me and I will send them to you.

To ensure compliance with the general permit, please read it carefully and be sure you understand its contents. Please take special note of the following requirements (This is not a complete list of the terms and conditions of the general permit.):

1. The Construction Site Erosion Control Plan and Storm Water Management Plan that you completed prior to submitting your permit application must be implemented and maintained throughout construction. Failure to do so may result in enforcement action by the Department.

2. The general permit requires that erosion and sediment controls be routinely inspected at least every 7 days, and within 24 hours after a rainfall event of 0.5 inches or greater. Weekly written reports of all inspections must be maintained. The reports must contain the following information:

- a. Date, time, and exact place of inspection;
- b. Name(s) of individual(s) performing inspection;
- c. An assessment of the condition of erosion and sediment controls;
- d. A description of any erosion and sediment control implementation and maintenance performed;
- e. A description of the site's present phase of construction.

3. A **Certificate of Permit Coverage** must be posted in a conspicuous place on the construction site. The Certificate of Permit Coverage (WDNR Publication # WT-813) is enclosed for your use.

4. When construction activities have ceased and the site has undergone final stabilization, a Notice of Termination (NOT) of coverage under the general permit must be submitted to the Department.

It is important that you read and understand the terms and conditions of the general permit because they have the force of law and apply to you. Your project may lose its permit coverage if you do not comply with its terms and conditions. The Department may also withdraw your project from coverage under the general permit and require that you obtain an individual WPDES permit instead, based on the Department's own motion, upon the filing of a written petition by any person, or upon your request.

If you believe that you have a right to challenge this decision to grant permit coverage, you should know that the Wisconsin statutes and administrative rules establish time periods within which requests to review Department decisions must be filed. For judicial review of a decision pursuant to ss. 227.52 and 227.53, Wis. Stats., you have 30 days after the decision is mailed, or otherwise served by the Department, to file your petition with the appropriate circuit court and serve the petition on the Department. Such a petition for judicial review must name the Department of Natural Resources as the respondent.

To request a contested case hearing pursuant to s. 227.42, Wis. Stats., you have 30 days after the decision is mailed, or otherwise served by the Department, to serve a petition for hearing on the Secretary of the Department of Natural Resources. All requests for contested case hearings must be made in accordance with s. NR 2.05(5), Wis. Adm. Code, and served on the Secretary in accordance with s. NR 2.03, Wis. Adm. Code. The filing of a request for a contested case hearing is not a prerequisite for judicial review and does not extend the 30-day period for filing a petition for judicial review.

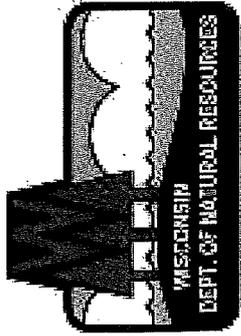
Thank you for your cooperation with the Construction Site Storm Water Discharge Permit Program. If you have any questions concerning the contents of this letter or the general permit, please contact Matthew Jacobson at (715) 684-2914 ext. 138.

Sincerely,



Matthew Jacobson  
West Central Region  
Storm Water Management Specialist

ENCLOSURE: Certificate of Permit Coverage



# CERTIFICATE OF PERMIT COVERAGE

**UNDER THE  
WPDES CONSTRUCTION SITE STORM WATER RUNOFF PERMIT  
Permit No. WI-S067831-05**

Under s. NR 216.455(2), Wis. Adm. Code, landowners of construction sites with storm water discharges regulated by the Wisconsin Department of Natural Resources (WDNR) Storm Water Permit Program are required to post this certificate in a conspicuous place at the construction site. This certifies that the site has been granted WDNR storm water permit coverage. The landowner must implement and maintain erosion control practices to limit sediment-contaminated runoff to waters of the state in accordance with the permit.

## **EROSION CONTROL COMPLAINTS**

should be reported to the WDNR Tip Line at  
**1-800-TIP-WDNR (1-800-847-9367)**

Please provide the following information to the Tip Line:

**WDNR Site No. (FIN): 58385**

**Site Name: Vista Croix**

**Address/Location: 307 Lake Street North, Prescott, Wisconsin City of PRESCOTT**

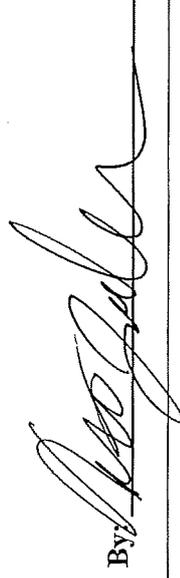
Additional Information:

**Landowner: Riverboat Properties, LLC Site**

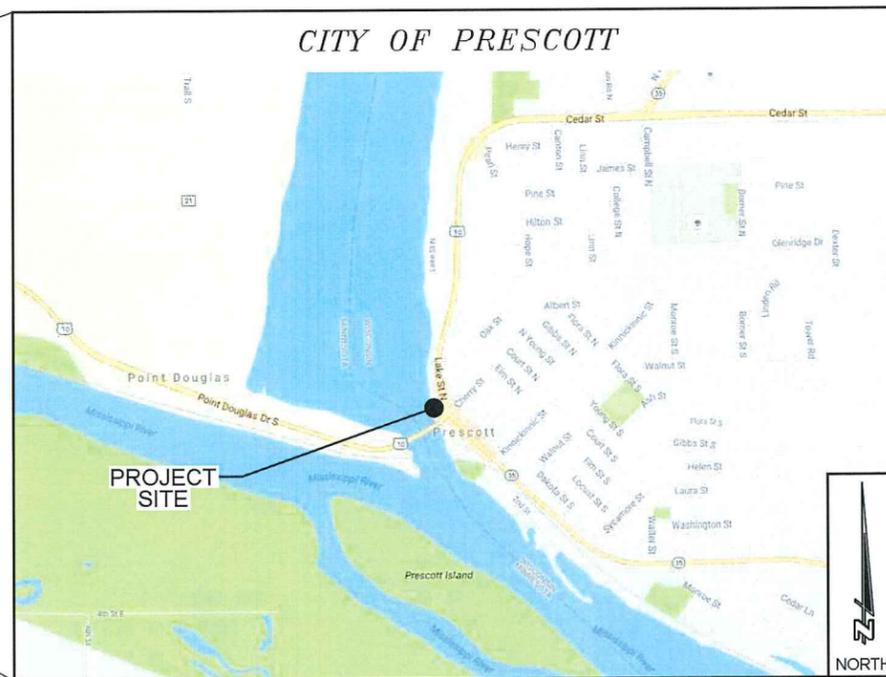
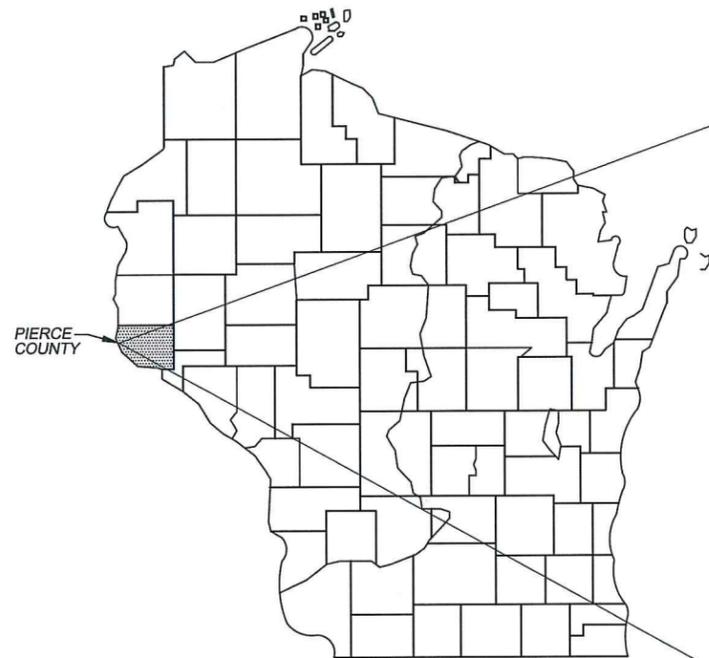
**Landowner's Contact Person: Bruce Lenzen**

**Contact Telephone Number: (651) 329-4060**

**Permit Start Date: November 02, 2016**

By: 

# VISTA CROIX RIVERBOAT PROPERTIES, LLC CITY OF PRESCOTT, PIERCE COUNTY, WISCONSIN



### GENERAL CONSTRUCTION NOTES

1. CONTRACTOR SHALL NOTIFY UTILITIES AND HAVE ALL UTILITIES LOCATED PRIOR TO ANY EXCAVATION.
2. CONTRACTOR SHALL SALVAGE AND REPLACE TOPSOIL IN ALL DISTURBED AREAS.
3. NO TREES OR SHRUBS TO BE REMOVED WITHOUT THE PRIOR APPROVAL OF THE OWNER.
4. CONTRACTOR SHALL MAINTAIN TRAFFIC ACCESSIBILITY ALONG PROJECT.
5. SALVAGED MATERIALS TO BECOME PROPERTY OF THE OWNER.
6. CONTRACTOR SHALL MECHANICALLY COMPACT ALL TRENCHES UNDER ALL PAVED, CONCRETE, GRAVEL AND BUILDING PAD AREAS.
7. ALL TOPSOIL, ORGANIC AND UNSUITABLE MATERIAL TO BE REMOVED BEFORE FILL MATERIAL IS PLACED. NO ORGANIC, UNSUITABLE OR FROZEN MATERIAL TO BE PLACED IN FILL AREAS. ALL FILL MATERIAL AND ENGINEERED FILL TO BE MECHANICALLY COMPACTED AS RECOMMENDED BY THE GEOTECHNICAL REPORT PROVIDED BY BRAUN INTERTEC CORPORATION, DATED FEBRUARY 23, 2016.
8. APRON ENDWALL REQUIRED ON ALL END OF STORM SEWER. PIPE LENGTH INCLUDE APRON ENDWALL.
9. TRAFFIC CONTROL SHALL BE IN PLACE PRIOR TO ANY WORK BEING PERFORMED WITHIN PUBLIC RIGHT-OF-WAY AND SHALL FOLLOW TRAFFIC CONTROL PLAN APPROVED BY THE WISCONSIN DEPARTMENT OF TRANSPORTATION (D.O.T.).

### CONVENTIONAL SYMBOLS

	PROPERTY LINE/ R.O.W.
	EXISTING FENCE
	EX. CONCRETE CURB & GUTTER
	EXISTING SANITARY SEWER
	EXISTING STORM SEWER
	EXISTING WATERMAIN
	PROPOSED BUILDING
	PROPOSED CONCRETE SURFACE
	PROPOSED RETAINING WALL
	PROPOSED 30" BARRIER CURB & GUTTER
	PROPOSED SANITARY SEWER SERVICE

### LOCATION MAP

N.T.S.

CONTACTS	
OWNER BRUCE LENZEN 106 BUCKEYE ST., SUITE 202 HUDSON, WI 54016	PROJECT ARCHITECT HAF ARCHITECTS 233 SOUTH MAIN ST. STILLWATER, MN 55082 651-351-1760
PROJECT ENGINEER/SURVEYOR AUTH CONSULTING & ASSOCIATES 200 W. MAIN ST. SUITE 404 PRESCOTT, WI 54401	DIGGERS HOTLINE 1-800-242-8511

**PRELIMINARY  
FOR REVIEW ONLY  
NOT FOR  
CONSTRUCTION**

### SHEET INDEX

SHEET	SHEET DESCRIPTION
C1.0	TITLE SHEET
C2.0	EXISTING SITE CONDITIONS AND DEMOLITION PLAN
C3.0	SITE PLAN
C4.0	GRADING PLAN

DRAWING PHASE:		DRAWN BY: ZPF	DATE: 08/16/16	REVISED PER CITY COMMENTS ZPF 11/07/16
OWNER REVIEW	X	CHECKED BY: MDH	DWG FILE: C1.0Title	RELEASED FOR REVIEW ZPF 10/26/16
AGENCY REVIEW			REF FILE: 5288-001	REVISION DESCRIPTION: NAME
BID DOCUMENT			JOB NUMBER: 5288-001	DATE: 11/07/16
FOR CONSTRUCTION				
AS-BUILT DOCUMENT				

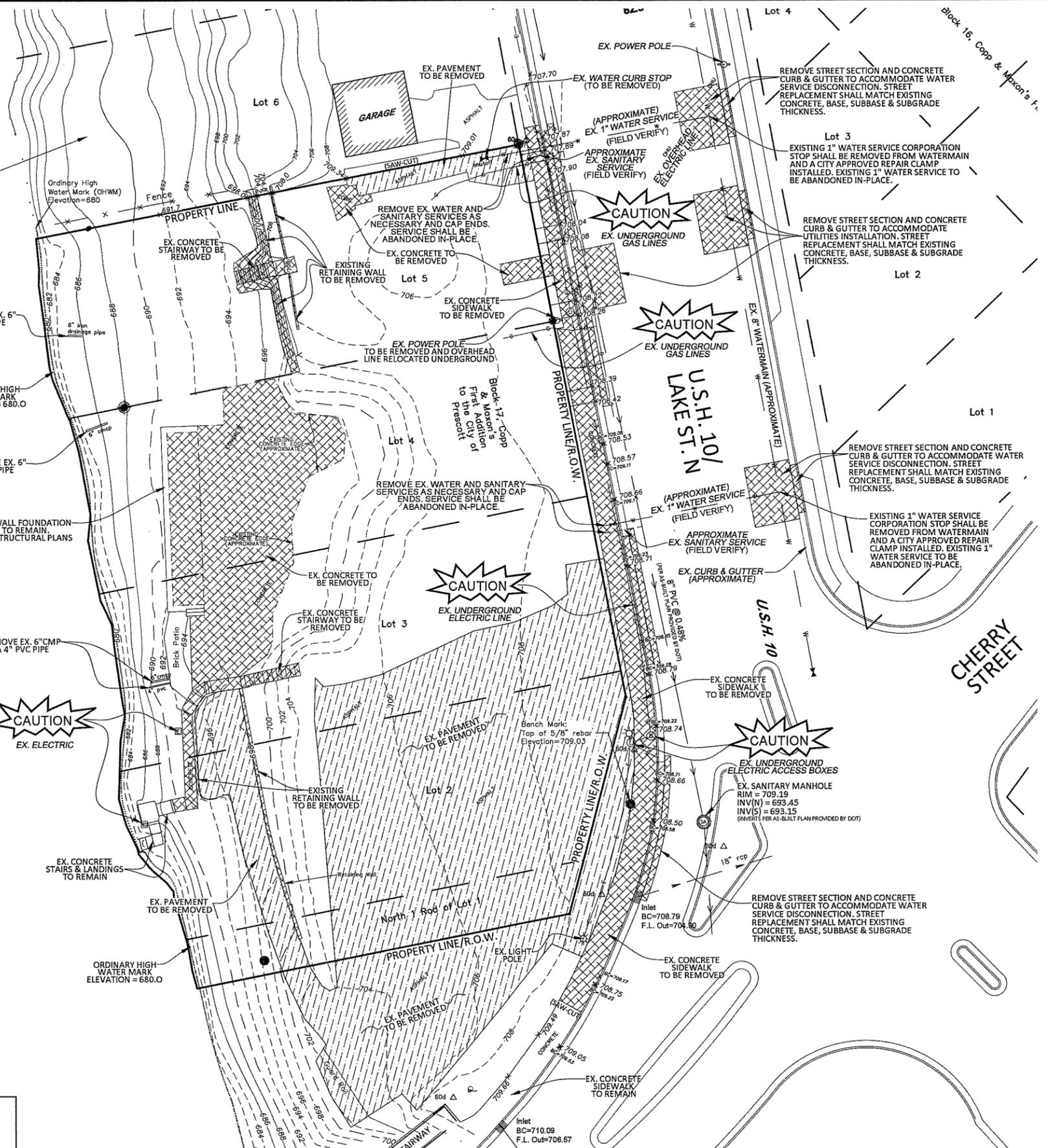
**A.C/a**  
Auth Consulting/associates  
5841 Land Surveying a division of A.C/a

VISTA CROIX RIVERBOAT PROPERTIES, LLC  
PRESCOTT, WISCONSIN

TITLE SHEET

Contours in Lots 6 and 7 are from Pierce County LIDAR data. Elevation 680 was adjusted to better fit the horizontal separation between the edge of water and Elevation 682.

Lake St. Croix/St. Croix River  
Water Elevation=678.8 on April 1, 2016 (NAVD88 datum)



LEGEND	
—	PROPERTY LINE/R.O.W.
---	EXISTING 10FT CONTOURS
---	EXISTING 2FT CONTOURS
●	EX. 1 1/4" o.d. IRON PIPE, FOUND
●	EX. 2 3/8" o.d. IRON PIPE, FOUND
●	EX. RAILROAD SPIKE, FOUND
●	EX. 4" DIAMETER ALUMINUM CAP, FOUND
○	EX. 1 1/4" (o.d.) x 18" IRON PIPE WEIGHING 1.68 LBS./LINEAR FOOT, SET
⊙	EX. MAGNETIC SURVEY NAIL, SET
⊙	EX. LIGHT POLE
⊙	EX. OVERHEAD UTILITY LINE
⊙	EX. UTILITY POLE
⊙	EX. UTILITY MANHOLE
⊙	EX. SANITARY SEWER MANHOLE
⊙	EX. GATE VALVE OR WATER SHUTOFF
⊙	EX. STORM SEWER INLET
⊙	EX. CONCRETE CURB & GUTTER
---	EX. EDGE OF IMPERVIOUS SURFACE
---	EXISTING UNDERGROUND GAS LINE
---	EXISTING UNDERGROUND ELECTRIC LINE
---	EXISTING SANITARY SEWER
---	EXISTING STORM SEWER
---	EXISTING WATERMAIN
---	EXISTING PAVEMENT TO BE REMOVED
---	EXISTING CONCRETE TO BE REMOVED
---	EXISTING RETAINING WALL TO BE REMOVED

- ### GENERAL CONSTRUCTION NOTES
- CONTRACTOR SHALL NOTIFY UTILITIES AND HAVE ALL UTILITIES LOCATED PRIOR TO ANY EXCAVATION OR DEMOLITION ACTIVITIES.
  - EROSION CONTROL TO BE IN PLACE BEFORE BEGINNING CONSTRUCTION OR DEMOLITION AND CONTINUOUSLY MAINTAINED. SEE EROSION CONTROL PLAN FOR REQUIREMENTS.
  - CONTRACTOR TO COORDINATE RELOCATION OF ANY SMALL UTILITIES, AS NECESSARY.
  - CONTRACTOR SHALL SALVAGE AND REPLACE TOPSOIL IN ALL DISTURBED AREAS.
  - NO TREES OR SHRUBS TO BE REMOVED WITHOUT THE PRIOR APPROVAL OF THE OWNER.
  - CONTRACTOR SHALL MAINTAIN TRAFFIC ACCESSIBILITY ALONG PROJECT.
  - SALVAGED MATERIALS TO BE REMOVED FROM THE SITE AND PROPERLY DISPOSED OF BY THE CONTRACTOR.
  - CONTRACTOR SHALL FIELD VERIFY EXISTING SANITARY SEWER, SANITARY SERVICES, WATER MAIN, WATER SERVICES PRIOR TO CONSTRUCTION.
  - CONTRACTOR SHALL MECHANICALLY COMPACT ALL TRENCHES UNDER ALL PAVED, CONCRETE, GRAVEL AND BUILDING AREAS.
  - TRAFFIC CONTROL SHALL BE IN PLACE PRIOR TO ANY WORK BEING PERFORMED WITHIN PUBLIC RIGHT-OF-WAY AND SHALL FOLLOW TRAFFIC CONTROL PLAN APPROVED BY THE WISCONSIN DEPARTMENT OF TRANSPORTATION (D.O.T.).
  - ALL TOPSOIL, ORGANIC, & UNSUITABLE MATERIAL TO BE REMOVED BEFORE FILL MATERIAL IS PLACED. NO ORGANIC, UNSUITABLE, OR FROZEN MATERIALS TO BE PLACED IN FILL AREAS. ALL FILL MATERIAL & ENGINEERED FILL TO BE MECHANICALLY COMPACTED AS RECOMMENDED BY THE GEOTECHNICAL REPORT PROVIDED BY BRAUN INTERTEC CORPORATION, DATED FEBRUARY 23, 2016.

### EXISTING SITE CONDITION NOTE

EXISTING CONDITIONS SHOWN ARE BASED ON TOPOGRAPHY INFORMATION PROVIDED BY OGDEN ENGINEERING CO. WITH SUPPLEMENTAL INFORMATION PROVIDED BY THE CITY OF PRESCOTT AND AUTH CONSULTING & ASSOCIATES. CONTRACTOR TO FIELD VERIFY ALL EXISTING SITE CONDITIONS FOR ACCURACY PRIOR TO ANY DEMOLITION, EXCAVATION, OR CONSTRUCTION ACTIVITIES COMMENCING.

DATE:	11/07/16
NAME:	ZPF
REVISION DESCRIPTION:	ZPF
REVISION NUMBER:	001
JOB NUMBER:	5288-001
DWG FILE:	C2.0-ExSite
AGENCY REVIEW:	08/16/16
CHECKED BY:	MDH
DRAWN BY:	ZPF

OWNER REVIEW:	
AGENCY REVIEW:	X
BID DOCUMENT:	
FOR CONSTRUCTION:	
AS-BUILT DOCUMENT:	

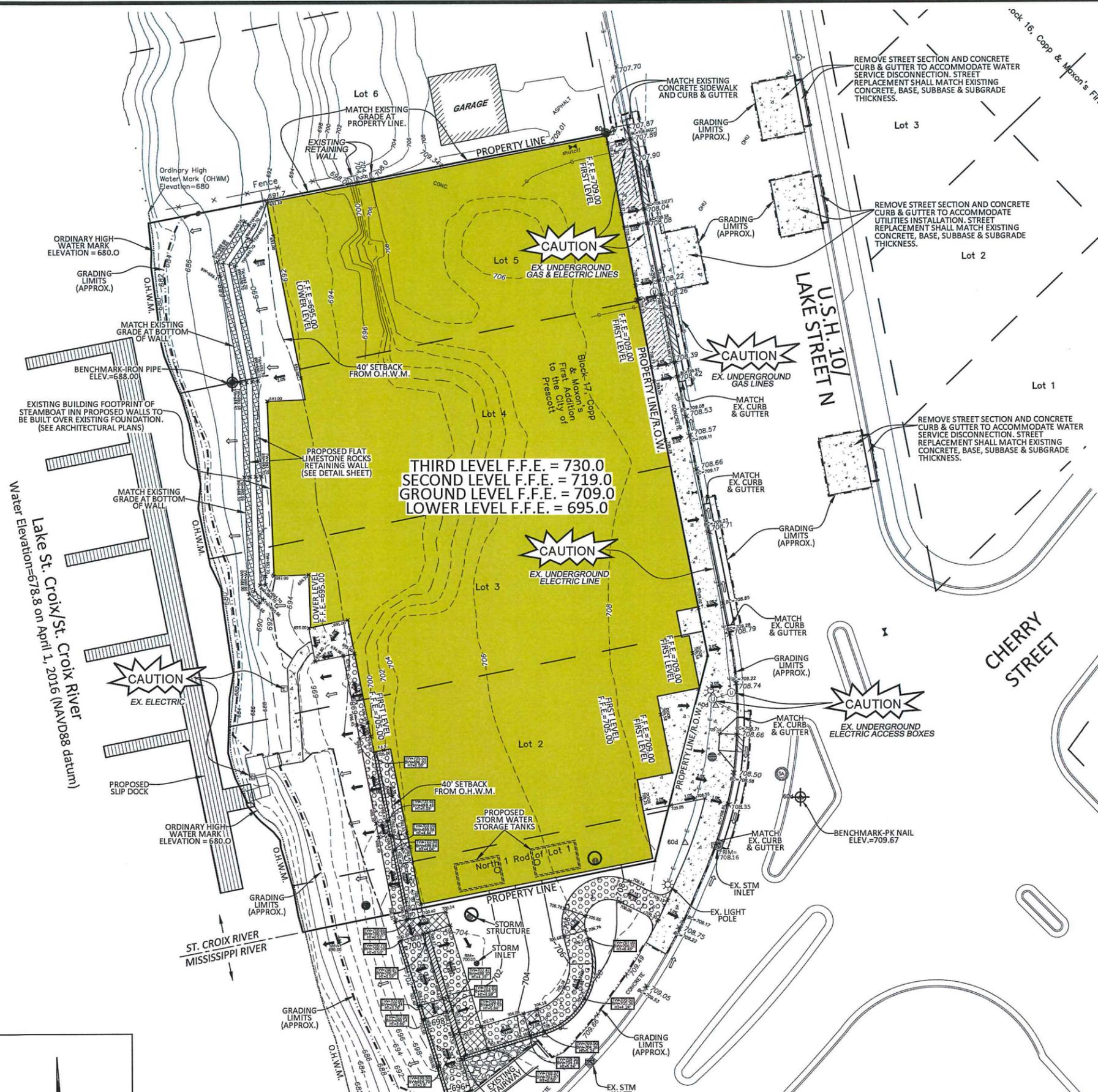
**BRANCH OFFICE**  
2920 N. Lake Street  
Suite 101  
Bismarck, ND 58101  
Tel: 715-381-5277

**CORPORATE OFFICE**  
406 Technology Drive West  
Suite A  
Menomonee, WI 54751  
Tel: 715-262-9400

**A.C/a**  
Auth Consulting/associates  
SKL Land Surveying a division of A/C/a

**TA CROIX**  
**ERBOAT PROPERTIES, LLC**  
OF PRESCOTT, WISCONSIN

**STING SITE CONDITIONS & DEMOLITION PLAN**



THIRD LEVEL F.F.E. = 730.0  
 SECOND LEVEL F.F.E. = 719.0  
 GROUND LEVEL F.F.E. = 709.0  
 LOWER LEVEL F.F.E. = 695.0

### LEGEND

	EXISTING 10FT CONTOURS		EXISTING GRADE SPOT ELEVATIONS
	EXISTING 2FT CONTOURS		PROPOSED FINISHED GRADE SPOT ELEVATIONS (ALL CURB SPOT ELEVATION SHOWN ARE AT CURB FLOWLINE UNLESS OTHERWISE NOTED)
	PROPOSED 10FT CONTOURS		EXISTING GRADE SURFACE DRAINAGE
	PROPOSED 2FT CONTOURS		PROPOSED FINISHED GRADE SURFACE DRAINAGE
	PROPERTY LINE		BC = BACK OF CURB ELEVATION
	EXISTING HARD SURFACE EDGE		FFE = FINISHED FLOOR ELEVATION
	APPROXIMATE GRADING LIMITS		H.P. = HIGH POINT GRADE ELEVATION
	PROPOSED BUILDING		L.P. = LOW POINT GRADE ELEVATION
	PROPOSED CONCRETE AREA		TW = TOP OF WALL GRADE ELEVATION
	PROPOSED RETAINING WALL		BW = BOTTOM OF WALL GRADE ELEVATION
			HT = HEIGHT OF RETAINING WALL
			E.O.F. = EMERGENCY OVERFLOW
			BENCHMARK

- ### GRADING NOTES
- CONTRACTOR SHALL NOTIFY UTILITIES AND HAVE ALL UTILITIES LOCATED PRIOR TO ANY CONSTRUCTION, EXCAVATION OR DEMOLITION ACTIVITIES COMMENCING.
  - CONTRACTOR TO COORDINATE WITH SMALL UTILITIES ALL REQUIRED UTILITY RELOCATION TO AVOID CONFLICTS WITH PROPOSED GRADING.
  - CONTRACTOR SHALL MECHANICALLY COMPACT ALL TRENCHES UNDER ALL PAVED, CONCRETE, GRAVEL, AND BUILDING PAD AREAS.
  - ALL TOPSOIL, ORGANIC, & UNSUITABLE MATERIAL TO BE REMOVED BEFORE FILL MATERIAL IS PLACED. NO ORGANIC, UNSUITABLE, OR FROZEN MATERIALS TO BE PLACED IN FILL AREAS. ALL FILL MATERIAL & ENGINEERED FILL TO BE MECHANICALLY COMPACTED AS RECOMMENDED BY THE GEOTECHNICAL REPORT PROVIDED BY BRAUN INTERTEC CORPORATION, DATED FEBRUARY 23, 2106.
  - ALL GRADES AND ELEVATIONS SHOWN ARE TO FINISHED GRADES, UNLESS NOTED OTHERWISE.
  - CONTRACTOR SHALL SALVAGE AND REPLACE TOPSOIL IN ALL DISTURBED AREAS.
  - ALL EXCESS & UNSUITABLE MATERIALS TO BE REMOVED FROM THE SITE BY SITE CONTRACTOR AS REQUIRED.
  - CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR DETERMINING ALL EARTHWORK QUANTITIES BASED ON THE EXISTING AND PROPOSED ELEVATIONS PROVIDED ON THE PLANS. ANY GEOTECHNICAL INVESTIGATIONS PROVIDED BY THE OWNER APPLY ONLY TO THOSE LOCATIONS THAT DATA WAS COLLECTED, AND MAY NOT BE INDICATIVE OF CONDITIONS ELSEWHERE ON THE SITE. THE CONTRACTOR IS RESPONSIBLE FOR COLLECTING ANY ADDITIONAL GEOTECHNICAL OR SURVEY DATA HE DEEMS NECESSARY TO COMPLETE AN ACCURATE ESTIMATE OF EARTHWORK QUANTITIES.
  - CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR BALANCING SITE MATERIALS. IF ONSITE EXCAVATION AND BORROW OPERATIONS DO NOT PROVIDE ENOUGH SUITABLE MATERIAL FOR FILL AREAS, THE CONTRACTOR SHALL COORDINATE AND PAY FOR EXCAVATION, TRANSPORT AND PLACEMENT OF IMPORTED MATERIAL MEETING THE SPECIFICATIONS OF THE CONTRACT DOCUMENTS. IF EXCAVATION RESULTS IN EXCESS MATERIALS, THE CONTRACTOR SHALL PROVIDE AND PAY FOR LOADING, TRANSPORT AND OFFSITE DISPOSAL OF EXCESS MATERIALS.
  - TRAFFIC CONTROL SHALL BE IN PLACE PRIOR TO ANY WORK BEING PERFORMED WITHIN PUBLIC RIGHT-OF-WAY AND SHALL FOLLOW TRAFFIC CONTROL PLAN APPROVED BY THE WISCONSIN DEPARTMENT OF TRANSPORTATION (D.O.T.).

### EXISTING SITE CONDITION NOTE

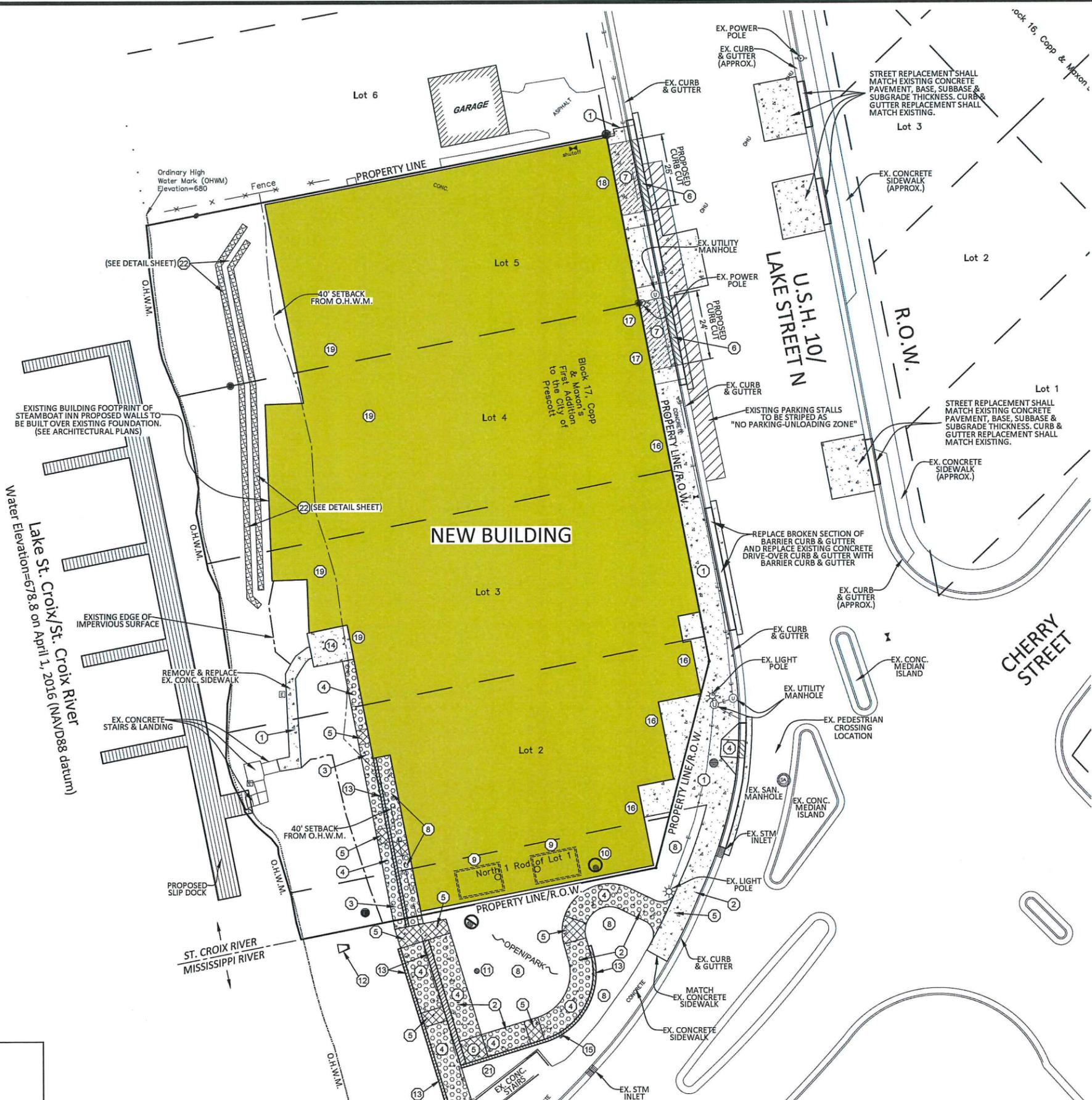
EXISTING CONDITIONS SHOWN ARE BASED ON TOPOGRAPHY INFORMATION PROVIDED BY OGDEN ENGINEERING, SUPPLEMENTAL INFORMATION PROVIDED BY THE CITY OF PRESCOTT, AND ADDITIONAL INFORMATION OBTAINED BY AUTH CONSULTING & ASSOCIATES. CONTRACTOR TO FIELD VERIFY ALL EXISTING SITE CONDITIONS FOR ACCURACY PRIOR TO ANY DEMOLITION, EXCAVATION, OR CONSTRUCTION ACTIVITIES COMMENCING.

DRAWING PHASE:	DRAWN BY: ZPF
OWNER REVIEW	CHECKED BY: MDH
AGENCY REVIEW	DATE: 08/16/16
BID DOCUMENT	DWG FILE: C4.0-Grading
FOR CONSTRUCTION	REF FILE: 5288-001.ccd
AS-BUILT DOCUMENT	JOB NUMBER: 5288-001
REVISION PER CITY COMMENTS	ZPF 11/07/16
RELEASED FOR REVIEW	ZPF 10/26/16
REVISION DESCRIPTION:	NAME: DATE:

**FRANCHISE OFFICE**  
 2820 Rubie Street  
 Suite 101  
 Hudson, WI 54016  
 Tel 715-501-5277

**CORPORATE OFFICE**  
 406 Technology Drive East  
 Suite A  
 Menomonee, WI 54751  
 Tel 715-352-9490

**A.C/a**  
 Auth Consulting/associates  
 581 East Survinger a division of A.C/a



### LEGEND

—	PROPERTY LINE/R.O.W.	[Green Box]	PROPOSED BUILDING
●	EX. 1 1/4" o.d. IRON PIPE, FOUND	[Stippled Box]	PROPOSED CONCRETE SURFACE
●	EX. 2 3/8" o.d. IRON PIPE, FOUND	[Horizontal Lines]	PROPOSED RETAINING WALL
●	EX. RAILROAD SPIKE, FOUND	[Hatched Box]	30" DRIVE-OVER CURB & GUTTER
●	EX. 4" DIAMETER ALUMINUM CAP, FOUND	[Hatched Box]	30" BARRIER CURB & GUTTER
○	EX. 1 1/4" (o.d.) x 18" IRON PIPE WEIGHING 1.68 LBS./LINEAR FOOT, SET	[Dotted Box]	PROPOSED ADA RAMP
⊙	EX. MAGNETIC SURVEY NAIL, SET	[Cross-hatched Box]	PROPOSED ADA LANDING
⊙	EX. LIGHT POLE		
OH	EX. OVERHEAD UTILITY LINE		
⊙	EX. UTILITY POLE		
⊙	EX. UTILITY MANHOLE		
⊙	EX. SANITARY SEWER MANHOLE		
⊙	EX. GATE VALVE OR WATER SHUTOFF		
⊙	EX. STORM SEWER INLET		
—	EX. CONCRETE CURB & GUTTER		
---	EX. EDGE OF IMPERVIOUS SURFACE		

- ### GENERAL SITE NOTES
1. TRAFFIC CONTROL SHALL BE IN PLACE PRIOR TO ANY WORK BEING PERFORMED WITHIN PUBLIC RIGHT-OF-WAY AND SHALL FOLLOW TRAFFIC CONTROL PLAN APPROVED BY WISCONSIN DEPARTMENT OF TRANSPORTATION (D.O.T.).
  2. CONTRACTOR TO FIELD VERIFY AND LOCATE ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
  3. CONTRACTOR TO COORDINATE RELOCATION OF ANY SMALL UTILITIES, AS NECESSARY.
  4. CONTRACTOR SHALL MAINTAIN TRAFFIC ACCESSIBILITY ALONG THE PROJECT.
  5. NO TREES OR SHRUBS ARE TO BE REMOVED WITHOUT THE PRIOR APPROVAL OF THE OWNER.

- ### ADA ACCESSIBILITY NOTES
1. ACCESSIBLE ROUTE NOT TO EXCEED 1:20 (5%) SLOPE, WITH 1:48 MAX. CROSS SLOPE.
  2. ACCESSIBLE RAMPS NOT TO EXCEED 1:12 (8.3%) SLOPE, WITH 1:48 MAX. CROSS SLOPE
  3. HAND RAILING TO BE ADDED ALONG ADA RAMPED SIDEWALK AS REQUIRED.

- ### SHEET KEY
- ① CONCRETE SIDEWALK
  - ② 8' WIDE CONCRETE SIDEWALK
  - ③ 4' WIDE CONCRETE SIDEWALK
  - ④ ADA PEDESTRIAN CONCRETE RAMP (1:12 MAX. SLOPE)
  - ⑤ ADA PEDESTRIAN RAMP LANDING
  - ⑥ 30" DRIVE-OVER CONCRETE CURB & GUTTER
  - ⑦ CONCRETE SIDEWALK W/ VEHICLE TRAFFIC
  - ⑧ LANDSCAPE AREA
  - ⑨ BUILDING STORM WATER HOLDING TANK
  - ⑩ IRRIGATION PUMP MANHOLE
  - ⑪ STORM INLET/MANHOLE
  - ⑫ STORM OUTFALL
  - ⑬ RETAINING WALL (BY RETAINING WALL CONTRACTOR)
  - ⑭ PATIO
  - ⑮ FLAG POLE LOCATION
  - ⑯ BUILDING ENTRANCE/EXIT DOOR (FIRST LEVEL-GROUND)
  - ⑰ BUILDING OVERHEAD DOORS (FIRST LEVEL-GROUND)
  - ⑱ VEHICLE PARKING ACCESS LOCATION (FIRST LEVEL-GROUND)
  - ⑲ BUILDING ENTRANCE/EXIT DOOR (LOWER LEVEL-GROUND)
  - ⑳ CONCRETE STAIRWAY

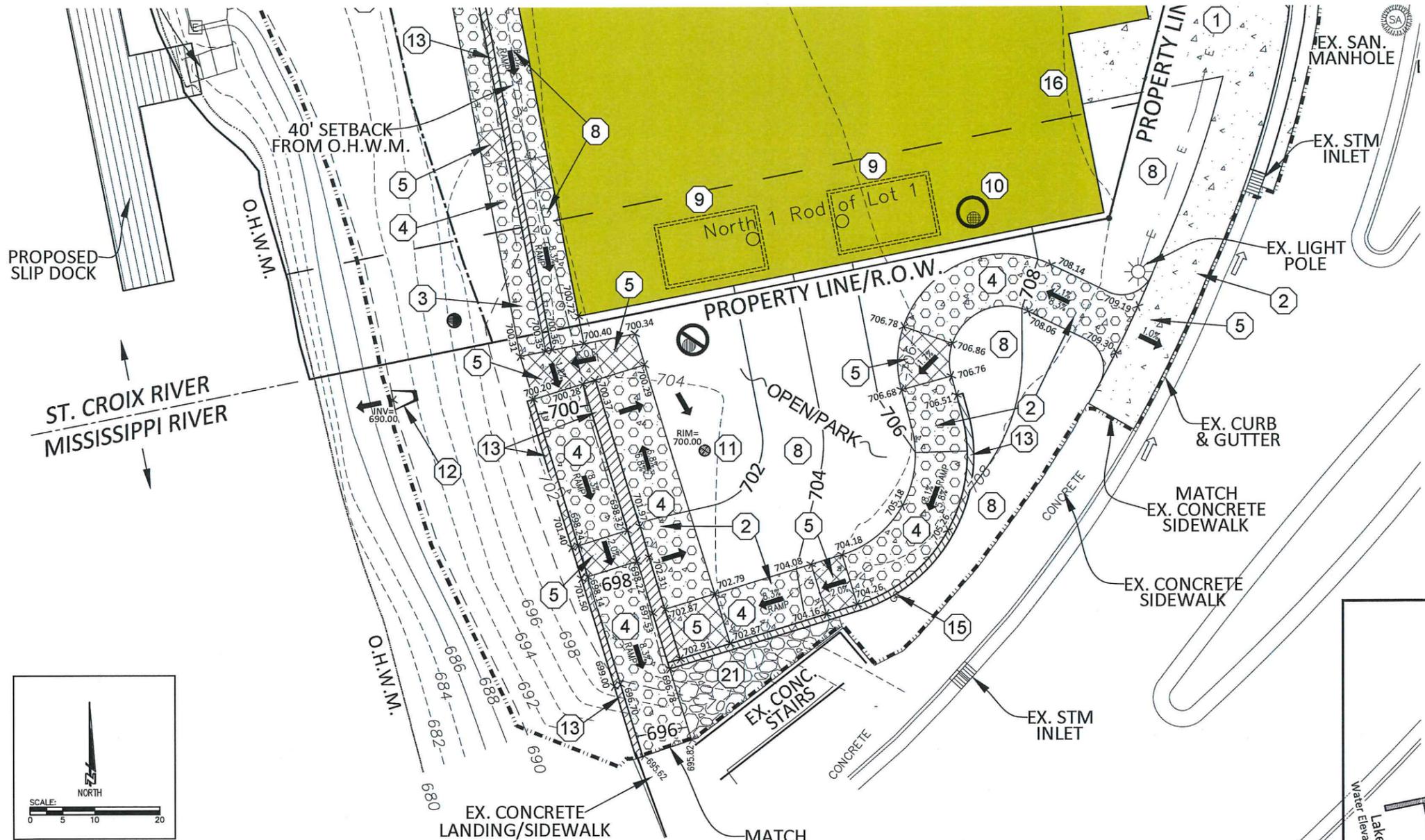
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JOB NUMBER:	5288-001				
REVISION PER CITY COMMENTS	ZPF 11/07/16				
RELEASED FOR REVIEW	ZPF 10/26/16				
REVISION DESCRIPTION:					
NAME:					
DATE:					

**PROJECT OFFICE**  
2820 Rubie Street  
Suite 101  
Madison, WI 53716  
Tel: 715-381-5877

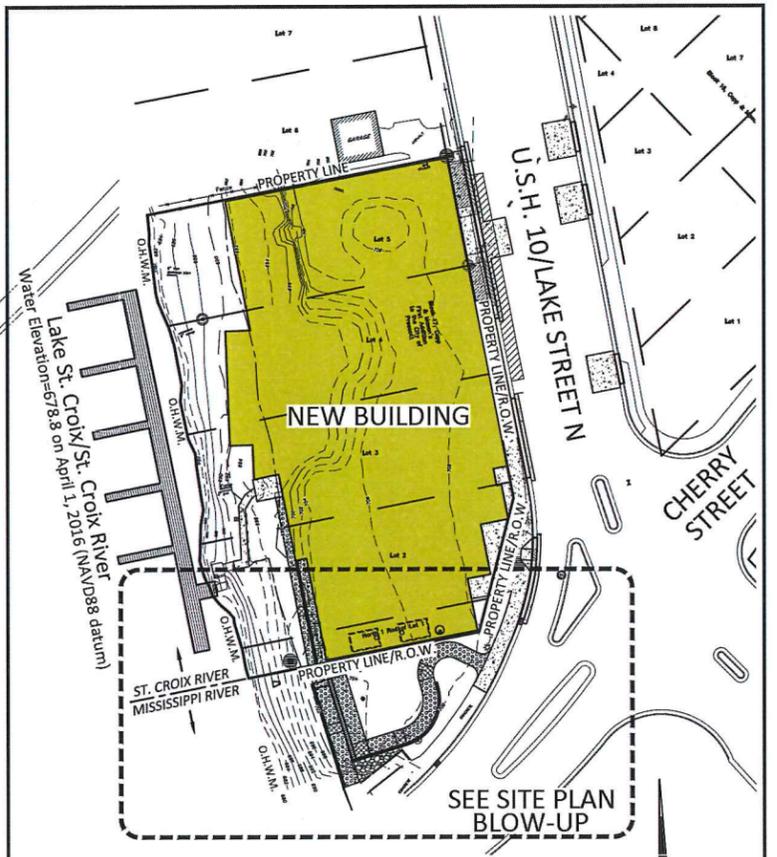
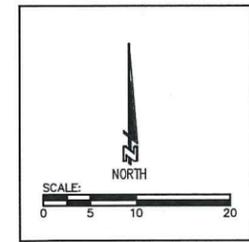
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Suite A  
Menomonee Falls, WI 53051  
Tel: 715-332-9490

**authconsulting.com**

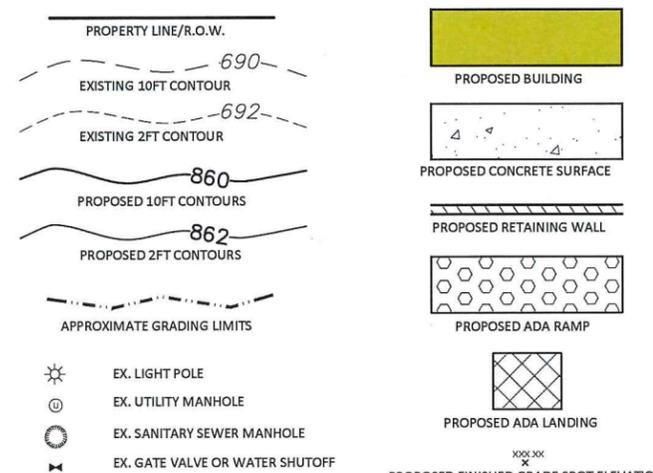
**Auth-Consulting/associates**  
S&B land surveying a division of A.C/a



SHEET KEY	
①	CONCRETE SIDEWALK
②	8' WIDE CONCRETE SIDEWALK
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④	ADA PEDESTRIAN CONCRETE RAMP (1:12 MAX. SLOPE)
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⑳	CONCRETE STAIRWAY
㉑	RIP-RAP SLOPE



**LEGEND**



**GENERAL SITE NOTES**

1. TRAFFIC CONTROL SHALL BE IN PLACE PRIOR TO ANY WORK BEING PERFORMED WITHIN PUBLIC RIGHT-OF-WAY AND SHALL FOLLOW TRAFFIC CONTROL PLAN APPROVED BY THE WISCONSIN DEPARTMENT OF TRANSPORTATION (D.O.T.).
2. CONTRACTOR TO FIELD VERIFY AND LOCATE ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
3. CONTRACTOR TO COORDINATE RELOCATION OF ANY SMALL UTILITIES, AS NECESSARY.
4. CONTRACTOR SHALL MAINTAIN TRAFFIC ACCESSIBILITY ALONG THE PROJECT.
5. NO TREES OR SHRUBS ARE TO BE REMOVED WITHOUT THE PRIOR APPROVAL OF THE OWNER.
6. SEE SHEET C4.0 FOR ADDITIONAL GRADING NOTES.

**ADA ACCESSIBILITY NOTES**

1. ACCESSIBLE ROUTE NOT TO EXCEED 1:20 (5%) SLOPE, WITH 1:48 MAX. CROSS SLOPE.
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**EXISTING SITE CONDITION NOTE**

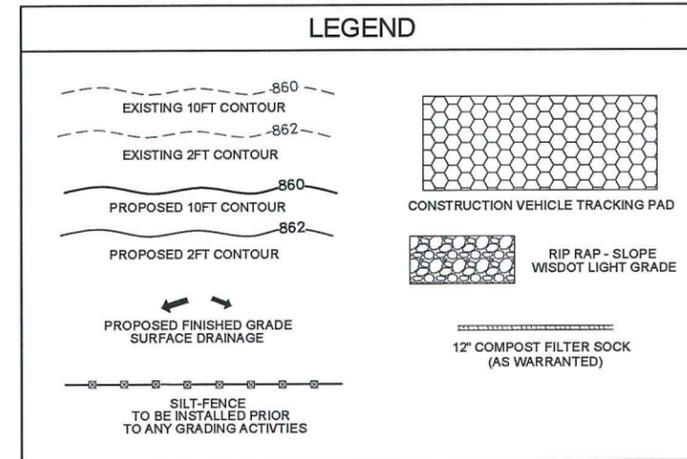
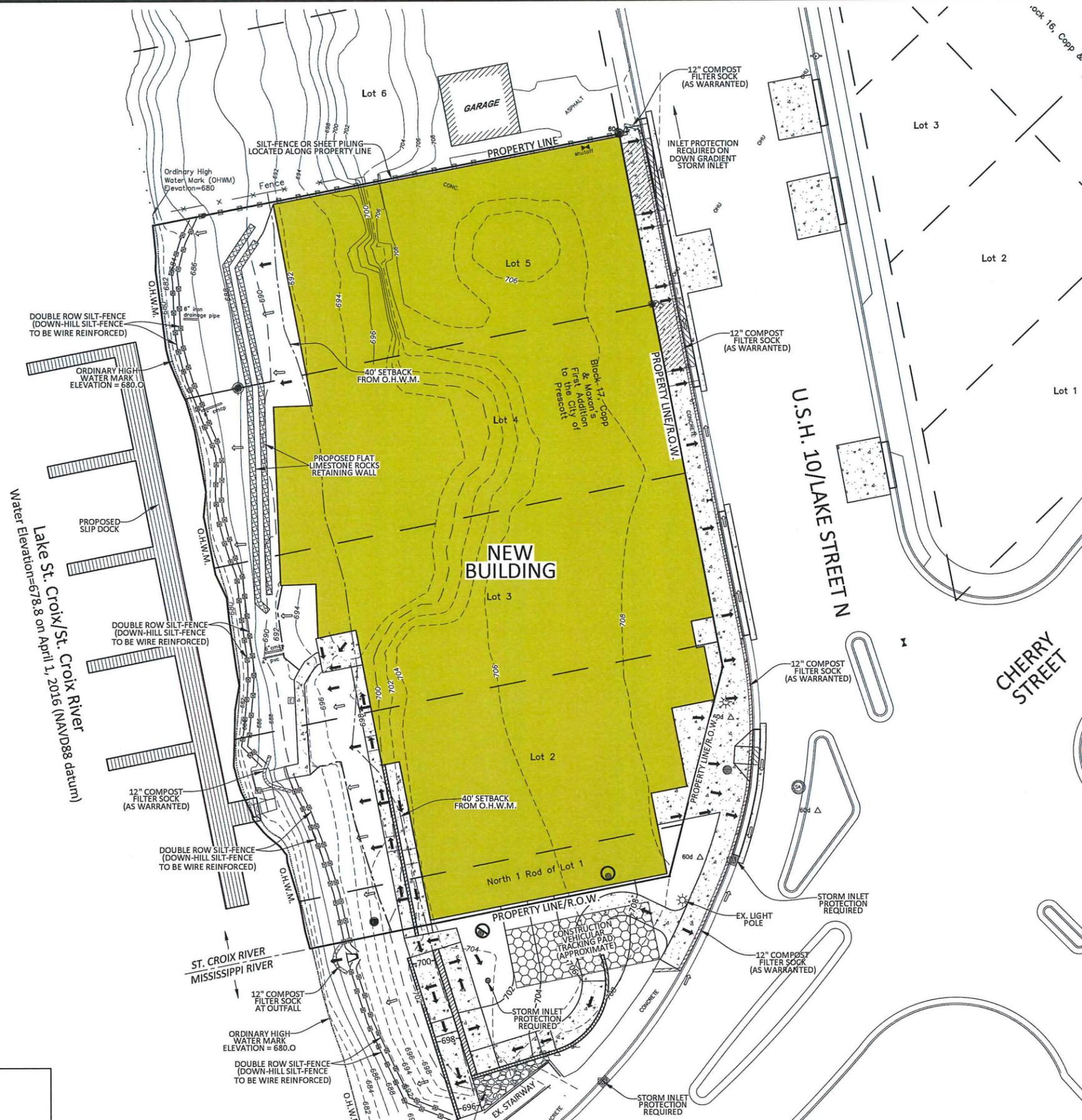
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OWNER REVIEW:						
AGENCY REVIEW:						
REVISED PER CITY COMMENTS:						
RELEASED FOR REVIEW:						
REVISED PER CITY COMMENTS:						
RELEASED FOR REVIEW:						
REVISION DESCRIPTION:						
NAME:						
DATE:						

BRANCH OFFICE: 2820 Huber Street, Suite 101, Sun Prairie, WI 53185, Tel: 715-881-5277

CORPORATE OFFICE: 406 Technology Drive East, Suite A, Sun Prairie, WI 53185, Tel: 715-225-5400

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S&E Land Surveying a division of A/C/A

LA CROIX  
ERBOAT PROPERTIES, LLC  
OF PRESCOTT, WISCONSIN  
& GRADING PLAN - D.O.T. PROPERTY



### EROSION CONTROL NOTES

1. EROSION CONTROL DEVICES SHALL BE IN PLACE BEFORE BEGINNING ANY DEMOLITION, EXCAVATION OR CONSTRUCTION ACTIVITIES AND CONTINUOUSLY MAINTAINED.
2. INSTALL CONSTRUCTION VEHICULAR TRACKING PAD AT ENTRANCE/EXIT OF PROJECT SITE. SEE DETAIL SHEETS FOR INSTALLATION REQUIREMENTS.
3. INSTALL SILT FENCE AS SHOWN ON PLAN OR AS DIRECTED BY THE ENGINEER. SEE DETAIL SHEETS FOR SILT FENCE INSTALLATION. SILT FENCE SHALL BE MAINTAINED IN ACCORDANCE WITH SECTION 628 EROSION CONTROL OF THE WISCONSIN DOT STANDARD SPECIFICATIONS.
4. 12" COMPOST FILTER SOCKS MAY BE USED IN LIEU OF STANDARD SILT FENCE WHERE ALLOWED BY LOCAL MUNICIPALITY. COMPOST FILTER SOCKS SHALL BE INSTALLED IN ACCORDANCE WITH APPLICABLE WDNR TECHNICAL STANDARDS.
5. ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED IMMEDIATELY AFTER FINAL GRADE IS ESTABLISHED IN ANY PARTICULAR AREA.
6. RIP-RAP TO BE WISDOT LIGHT GRADE, OR APPROVED EQUAL, 18"(MIN.) DEPTH WITH GEOTEXTILE FABRIC AT 90° TO DIRECTION OF FLOW.
7. ALL DISTURBED SLOPES 4:1 AND STEEPER SHALL BE SEEDED AND PROTECTED WITH EROSION MAT (CLASS I TYPE A) OR SHALL BE SODDED AND STAKED OR HYDRO-SEEDED AS AN ALTERNATIVE. EROSION MAT SHALL BE IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1053 AND WISDOT STANDARD SPECIFICATIONS. PLACE AT LOCATIONS SHOWN OR AS NEEDED OR DETERMINED IN THE FIELD.
8. TEMPORARY SEED SHOULD BE APPLIED, IF CONSTRUCTION EXTENDS PAST SEPTEMBER 1ST, OF ANNUAL RYEGRASS AND OATS AT THE RATE OF 5 POUNDS PER 1000 S.F. OF AREA AND LEFT OVER WINTER. PERMANENT SEEDING SHALL BE COMPLETED THE FOLLOWING SPRING. IF TEMPORARY SEEDING CANNOT BE COMPLETED BEFORE WINTER FREEZE UP THEN ALL DISTURBED AREAS SHALL BE MULCHED AT A RATE OF 3 TONS PER ACRE AND ANCHORED ACCORDING TO THE WDNR TECHNICAL STANDARD-(1058) "MULCHING FOR CONSTRUCTION SITES." PERMANENT SEEDING SHALL BE COMPLETED THE FOLLOWING SPRING.
9. ALL EROSION CONTROL MEASURES SHALL BE LEFT IN PLACE AND MAINTAINED UNTIL RESTORATION ON SITE HAS BEEN ESTABLISHED (A MINIMUM OF 70% VEGETATION TYP.).
10. ANY SOIL STOCKPILES WHICH ARE LEFT MORE THAN 7 DAYS MUST BE PROTECTED BY SEEDING AND MULCHING, EROSION MAT, SILT FENCING, COVERING OR OTHER APPROVED METHODS. THIS DOES NOT INCLUDE FILL OR TOPSOIL PILES THAT ARE IN ACTIVE USE.
11. SITE WATERING SHALL TAKE PLACE AS CONSTRUCTION AND WEATHER CONDITIONS WARRANT TO MINIMIZE DUST POLLUTION FROM LEAVING THE SITE.
12. SITE MONITORING OF EROSION AND SEDIMENT CONTROL PRACTICES FOR MAINTENANCE NEEDS SHALL BE COMPLETED AT THE INTERVALS SPECIFIED UNTIL THE SITE IS STABILIZED. SITE MONITORING SHALL OCCUR AT LEAST WEEKLY OR WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR GREATER. A RAINFALL EVENT SHALL BE CONSIDERED TO BE THE TOTAL AMOUNT OF RAINFALL RECORDED IN ANY CONTINUOUS 24 HOUR PERIOD. MONITORING RECORDS SHALL BE KEPT AND CONTAIN, AT A MINIMUM, THE CONDITION OF THE EROSION AND SEDIMENT CONTROL PRACTICES AT THE INTERVALS SPECIFIED AND A DESCRIPTION OF THE MAINTENANCE CONDUCTED TO REPAIR OR REPLACE EROSION AND SEDIMENT CONTROL PRACTICES.
13. OFF-SITE SEDIMENT DEPOSITION RESULTING FROM THE FAILURE OF AN EROSION OR SEDIMENT CONTROL PRACTICE SHALL BE CLEANED UP WITHIN 24 HOURS. OFF-SITE SEDIMENT DEPOSITION RESULTING FROM CONSTRUCTION ACTIVITY, THAT CREATES A NUISANCE, SHALL BE CLEANED UP BY THE END OF THE WORK DAY. IF THE FAILURE OF EROSION OR SEDIMENT CONTROL PRACTICES RESULT IN AN IMMEDIATE THREAT OF SEDIMENT ENTERING PUBLIC SEWERS OR THE WATERS OF THE STATE, PROCEDURES SHALL BE IMPLEMENTED IMMEDIATELY TO REPAIR OR REPLACE THE PRACTICES. SCRAPING OF THE STREET SHALL BE COMPLETED WITHIN 4 HOURS AND STREET SWEEPING WITHIN 24 HOURS.

DRAWING PHASE:	DRAWN BY: ZPF	CHECKED BY: MDH	DATE: 08/16/16
OWNER REVIEW	AGENCY REVIEW	BID DOCUMENT	FOR CONSTRUCTION
X	X	X	X
REVISED PER CITY COMMENTS		ZPF	11/07/16
RELEASED FOR REVIEW		ZPF	10/26/16
REVISION DESCRIPTION:		NAME:	DATE:
JOB NUMBER: 5288-001		AS-BUILT DOCUMENT	

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A.C/a

Auth Consulting/associates

S&T Land Surveying a division of A/C/a

EROSION CONTROL PLAN

A CROIX  
BOAT PROPERTIES, LLC  
F. PRESCOTT, WISCONSIN



### LEGEND

	PROPERTY LINE/R.O.W.		PROPOSED BUILDING
	EX. 1 1/4" o.d. IRON PIPE, FOUND		PROPOSED BUILDING STORM WATER HOLDING TANK
	EX. 2 3/8" o.d. IRON PIPE, FOUND		PROPOSED IRRIGATION PUMP MANHOLE
	EX. RAILROAD SPIKE, FOUND		PROPOSED STORM SEWER
	EX. 4" DIAMETER ALUMINUM CAP, FOUND		PROPOSED SANITARY SEWER SERVICE
	EX. 1 1/4" (o.d.) x 18" IRON PIPE WEIGHING 1.68 LBS./LINEAR FOOT, SET		EXISTING WATER SERVICE
	EX. MAGNETIC SURVEY NAIL, SET		EXISTING SANITARY SEWER
	EX. LIGHT POLE		EXISTING STORM SEWER
	EX. OVERHEAD UTILITY LINE		EXISTING WATERMAIN
	EX. UTILITY POLE		
	EX. UTILITY MANHOLE		
	EX. SANITARY SEWER MANHOLE		
	EX. GATE VALVE OR WATER SHUTOFF		
	EX. STORM SEWER INLET		
	EX. CONCRETE CURB & GUTTER		
	EX. EDGE OF IMPERVIOUS SURFACE		

- ### GENERAL UTILITY NOTES
- CONTRACTOR TO FIELD VERIFY AND LOCATE ALL EXISTING UTILITIES PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION.
  - CONTRACTOR TO COORDINATE RELOCATION OF ANY SMALL UTILITIES, AS NECESSARY.
  - TRAFFIC CONTROL SHALL BE IN PLACE PRIOR TO ANY WORK BEING PERFORMED WITHIN PUBLIC RIGHT-OF-WAY AND SHALL FOLLOW TRAFFIC CONTROL PLAN APPROVED BY THE WISCONSIN DEPARTMENT OF TRANSPORTATION (D.O.T.).
  - VERIFY SANITARY SERVICE AND WATER SERVICE CONNECTION POINTS AND SIZES WITH STATE APPROVED BUILDING PLUMBING PLANS, PRIOR TO ANY INSTALLATIONS.

- ### SANITARY SEWER NOTES
- 6" SANITARY SEWER LATERAL TO BE INSTALLED AT A MIN OF 1.0%.
  - SANITARY SEWER LATERAL PIPE TO BE PVC SCHEDULE 40 PIPING.
  - VERIFY SANITARY SERVICE BUILDING CONNECTION LOCATION AND SIZE WITH STATE APPROVED BUILDING PLUMBING PLANS, PRIOR TO INSTALLING ANY SANITARY SERVICE.
  - SANITARY SEWER LATERAL SHALL BE INSTALLED WITH A GREEN 18 GAGE TRACER WIRE, PER SPS 382 REQUIREMENTS.
  - CONTRACTOR TO FIELD VERIFY/LOCATE AND UTILIZE THE EXISTING SANITARY SERVICE STUB FOR THE PROPOSED SANITARY SERVICE CONNECTION. CONTRACTOR TO FIELD VERIFY EXISTING SANITARY SEWER INVERT ELEVATION.

- ### WATER SERVICE NOTES
- COMBINED FIRE & DOMESTIC WATER SERVICE SHALL BE HIGH DENSITY POLYETHYLENE PIPE (HDPE).
  - MAINTAIN 8.0' MINIMUM COVER OVER WATER SERVICE LATERAL.
  - VERIFY WATER SERVICE BUILDING CONNECTION LOCATION AND SIZE WITH STATE APPROVED BUILDING PLUMBING PLANS, PRIOR TO INSTALLING ANY WATER SERVICE.
  - CONTRACTOR TO FIELD VERIFY/LOCATE AND UTILIZE THE EXISTING WATER MAIN FOR THE PROPOSED WATER SERVICE CONNECTION.
  - ALL JOINTS IN WATER LATERAL SHALL BE RESTRAINED BY CITY APPROVED METHOD. ALL BENDS IN THE WATER LATERAL SHALL BE BUTTRESSED.
  - CITY TO APPROVE THE SELECTED WET TAP CONTRACTOR.

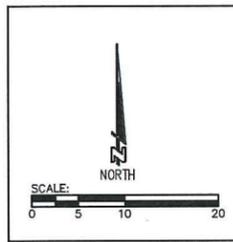
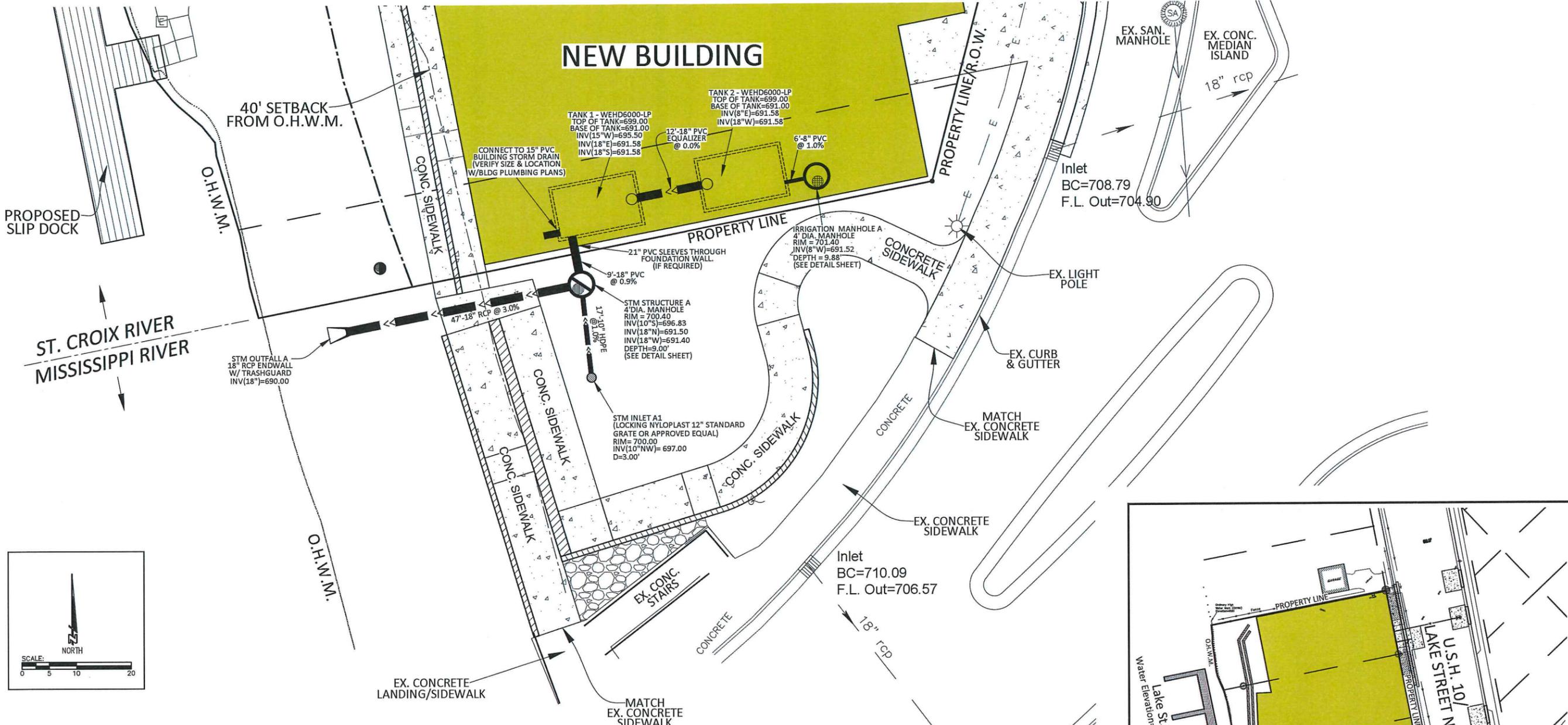
- ### STORM SEWER NOTES
- ALL RCP STORM SEWER PIPING SHALL BE CLASS 3 PIPING OR APPROVED EQUIVALENT, UNLESS NOTED OTHERWISE.
  - ALL HDPE STORM SEWER SHALL BE DUAL WALL SMOOTH INTERIOR WITH WATERTIGHT JOINTS OR APPROVED EQUIVALENT, UNLESS NOTED OTHERWISE.
  - ALL PIPE LENGTHS INCLUDE APRON ENDWALLS.
  - ALL EXTERIOR STORM SEWER PIPE SHALL BE INSTALLED WITH A BROWN 18 GAGE TRACER WIRE, WHEN APPLICABLE PER SPS 382 REQUIREMENTS.

### EXISTING SITE CONDITION NOTE

DRAWING PHASE:	DRAWN BY: ZPF	CHECKED BY: MDH	DATE: 08/16/16	DWG FILE: 06.0-UHJ	REVISED PER CITY COMMENTS	ZPF 11/07/16	ZPF 10/26/16	NAME:	DATE:
OWNER REVIEW									
AGENCY REVIEW	X								
BID DOCUMENT									
FOR CONSTRUCTION									
AS-BUILT DOCUMENT									
BRANCH OFFICE		2800 Kaler Street, Suite 101, Madison, WI 53705, Tel: 715-381-5277							
CORPORATE OFFICE		488 Technology Drive East, Suite A, Menomonie, WI 54751, Tel: 715-235-3900, Tel: 715-381-5277							
		Auth. Consulting/associates S&M land surveying a division of A/C/a							

TA CROIX  
ERBOAT PROPERTIES, LLC  
OF PRESCOTT, WISCONSIN

UTILITY PLAN



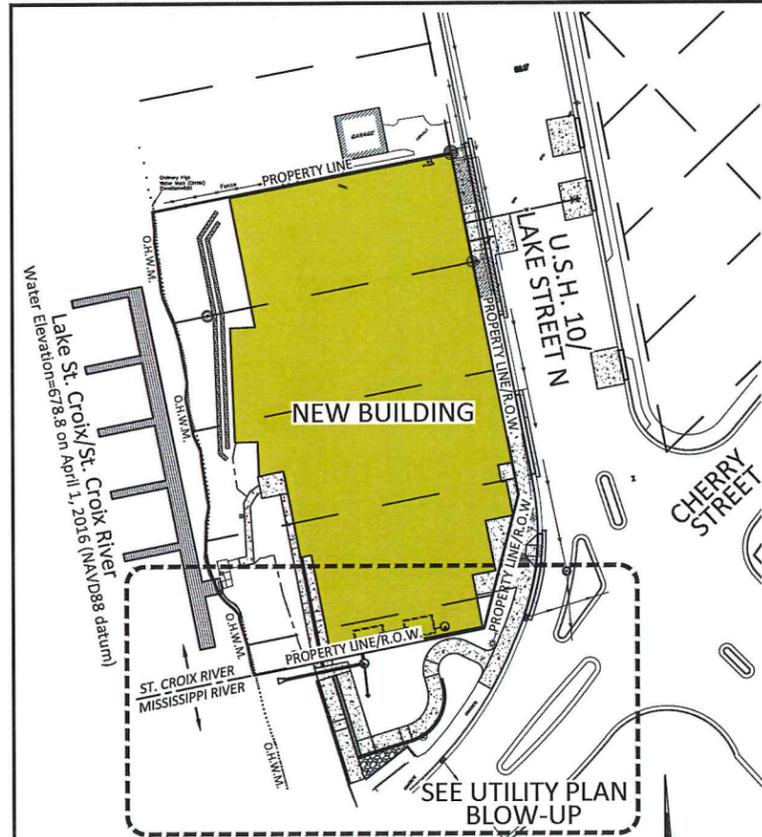
LEGEND	
	PROPERTY LINE/R.O.W.
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	EX. GATE VALVE OR WATER SHUTOFF

**GENERAL UTILITY NOTES**

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2. CONTRACTOR TO FIELD VERIFY AND LOCATE ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
3. CONTRACTOR TO COORDINATE RELOCATION OF ANY SMALL UTILITIES, AS NECESSARY.
4. CONTRACTOR SHALL MAINTAIN TRAFFIC ACCESSIBILITY ALONG THE PROJECT.

**STORM SEWER NOTES**

1. ALL RCP STORM SEWER PIPING SHALL BE CLASS 3 PIPING OR APPROVED EQUIVALENT, UNLESS NOTED OTHERWISE.
2. ALL HDPE STORM SEWER SHALL BE DUAL WALL SMOOTH INTERIOR WITH WATERTIGHT JOINTS OR APPROVED EQUIVALENT, UNLESS NOTED OTHERWISE.
3. ALL PIPE LENGTHS INCLUDE APRON ENDWALLS.



DRAWING PHASE:		DRAWN BY: ZPF	
OWNER REVIEW		CHECKED BY: MDH	
AGENCY REVIEW	X	DATE: 09/16/16	
BID DOCUMENT		DWG FILE: C6.1-Urll	
FOR CONSTRUCTION		REF FILE: 5288-001acc	
AS-BUILT DOCUMENT		JOB NUMBER: 5288-001	
		REVISED PER CITY COMMENTS	ZPF 11/07/16
		RELEASED FOR REVIEW	ZPF 10/26/16
		REVISION DESCRIPTION:	NAME: DATE:

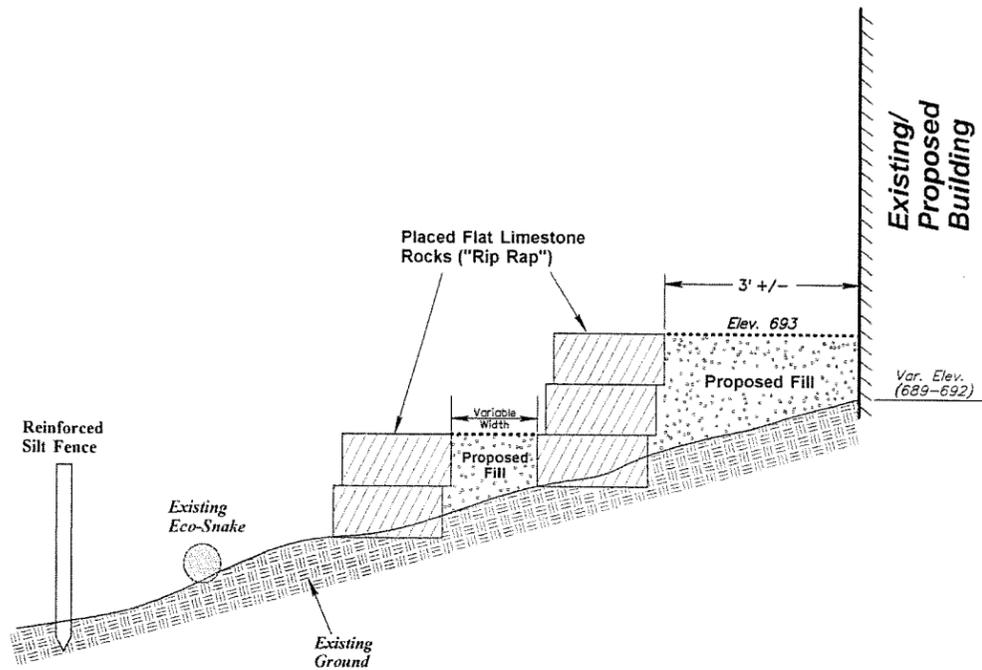
**BRANCH OFFICE**  
2820 Knies Street  
Suite 101  
Madison, WI 53704  
Tel 715-381-8277

**CORPORATE OFFICE**  
408 Technology Drive East  
Suite A  
Menomonie, WI 54751  
Tel 715-232-9400  
Tel 715-381-8277  
authconsulting.com

**A/C/a**  
Auth-Consulting/associates  
S&T Land Surveying a division of A/C/a

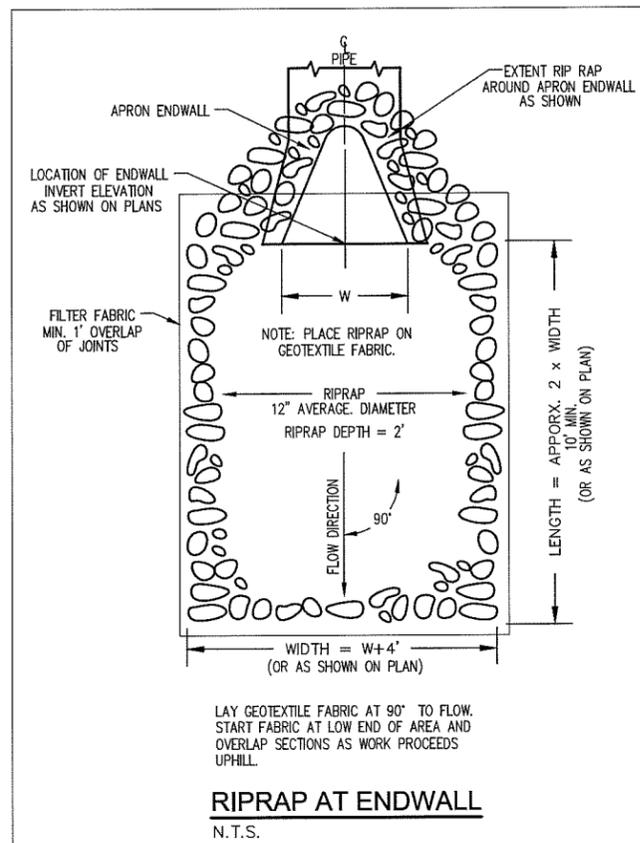
A CROIX  
BOAT PROPERTIES, LLC  
PRESCOTT, WISCONSIN  
UTILITY PLAN - D.O.T. PROPERTY





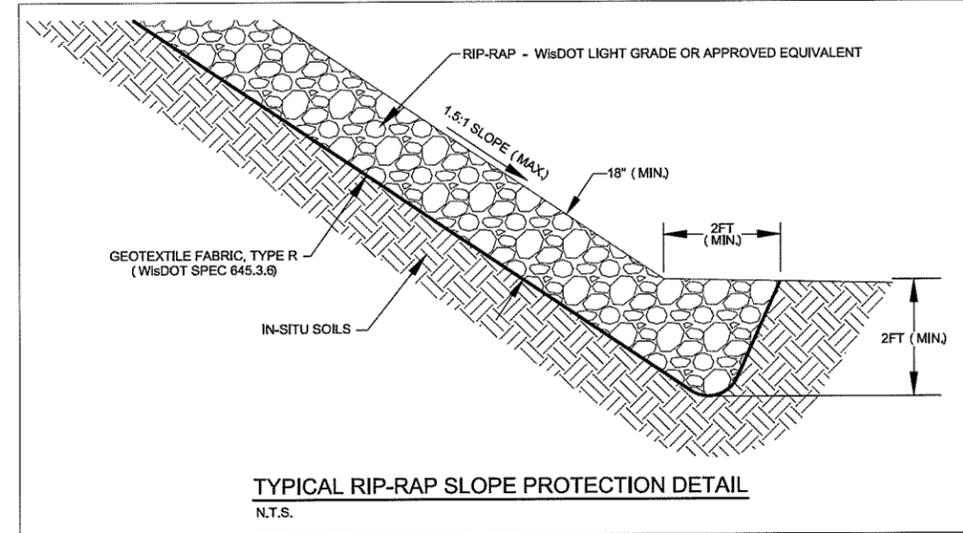
**TYPICAL "FILL" CROSS-SECTION**

Looking North



**RIPRAP AT ENDWALL**

N.T.S.



**TYPICAL RIP-RAP SLOPE PROTECTION DETAIL**

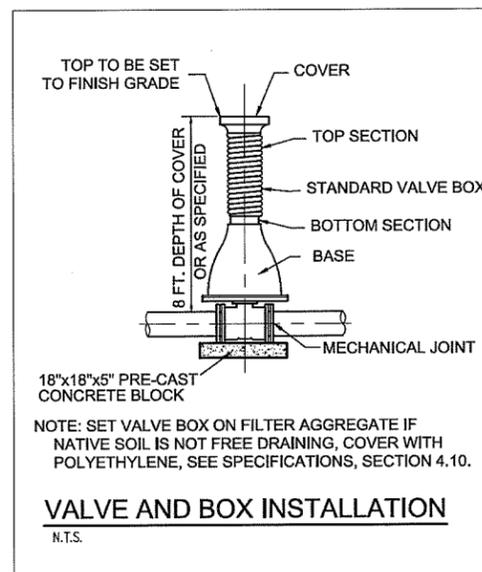
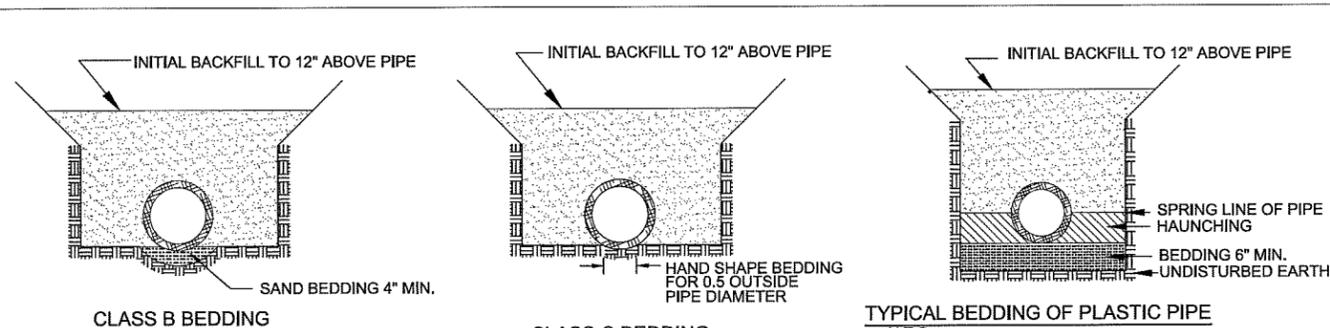
N.T.S.

Seed Mix Number	Areas of Use	Species	Mixture Proportions %	Seeding Rate
20	Light, dry, well-drained, sandy, or gravelly soils and high cut & fill slopes	Kentucky Bluegrass Hard Fescue Tall Fescue Perennial Ryegrass	6 24 40 30	3 lbs/ 1000 sq.ft OR 130 lbs/acre

**SEED MIXTURES**

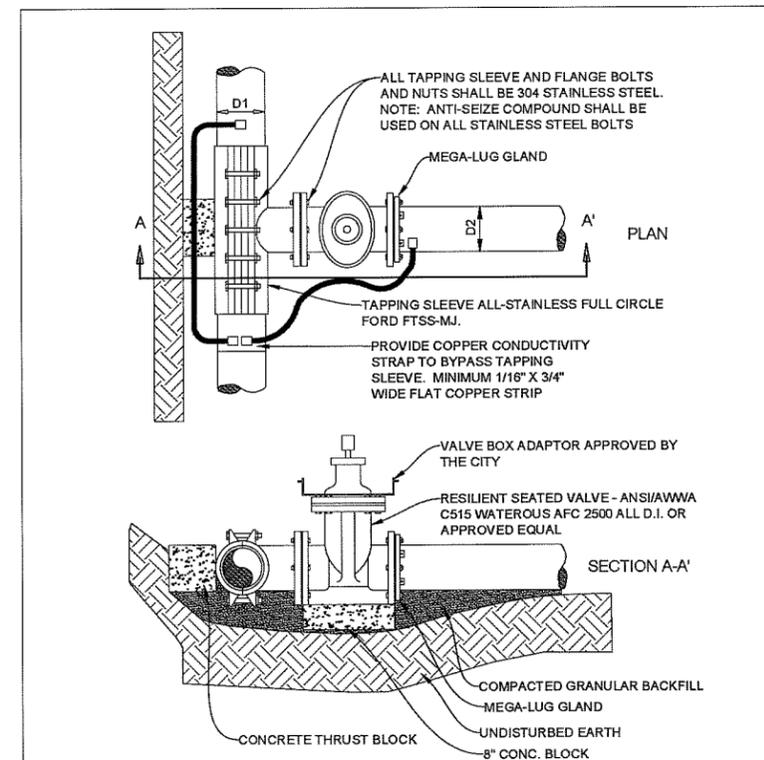
**OGDEN ENGINEERING CO.**  
Civil Engineering & Land Surveying  
1234 S. Wasson Lane, River Falls, WI 54022  
(715) 425-7631

Date: 2-10-16  
Job No. 16-3316



**VALVE AND BOX INSTALLATION**

N.T.S.



NOTES:

1. WET TAP CONTRACTOR TO BE APPROVED BY THE CITY.
2. ANTI-CORROSIVE PROTECTION COATING REQUIRED ON ALL GRINDED AND WELDED AREAS.
3. 8.0' COVER REQUIRED OVER TOP OF WATER MAIN. PROVIDE OFFSET VIA GRADE-LOK OR APPROVED EQUAL TO ACHIEVE 8.0' COVER IF REQUIRED.
4. ASSURE DIS-INFECTION OF NEW FITTINGS.

**BRANCH OFFICE**  
2920 Inboe Street  
Suite 101  
Madison, WI 53716  
Tel: 715-981-8277

**CORPORATE OFFICE**  
408 Technology Drive East  
Suite A  
Madison, WI 53711  
Tel: 715-282-8480

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auticonsulting.com

**DRAWING PHASE:** OWNER REVIEW, AGENCY REVIEW, BID DOCUMENT, FOR CONSTRUCTION, AS-BUILT DOCUMENT

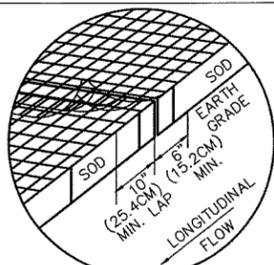
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**CHECKED BY:** MDH  
**DATE:** 08/16/16  
**DWG FILE:** C7.0-Details  
**REF FILE:** C7.0-Details  
**JOB NUMBER:** 5288-001

**REVISIONS:**

NO.	DESCRIPTION	DATE
1	RELEASED FOR REVIEW	11/07/16
2	RELEASED FOR REVIEW	10/26/16

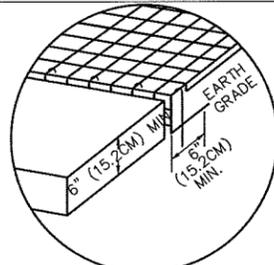
**A CROIX**  
**ROBAT PROPERTIES, LLC**  
**F. PRESCOTT, WISCONSIN**

**DETAILS**



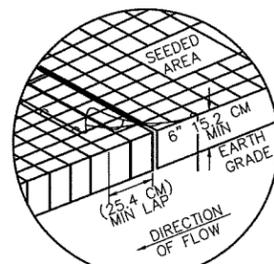
JUNCTION SLOT  
SOD ONLY

DETAIL A  
N.T.S.



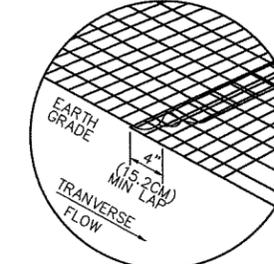
ANCHOR SLOT  
AT BEGINNING AND END OF EROSION MAT

DETAIL B  
N.T.S.



JUNCTION SLOT  
SEED ONLY

DETAIL C  
N.T.S.



LAP JOINT  
SEED AND SOD

DETAIL D  
N.T.S.

**GENERAL NOTES EROSION MAT**

DETAILS OF CONSTRUCTION, MATERIALS AND WORKMANSHIP NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE STANDARD SPECIFICATIONS AND THE APPLICABLE SPECIAL PROVISIONS.

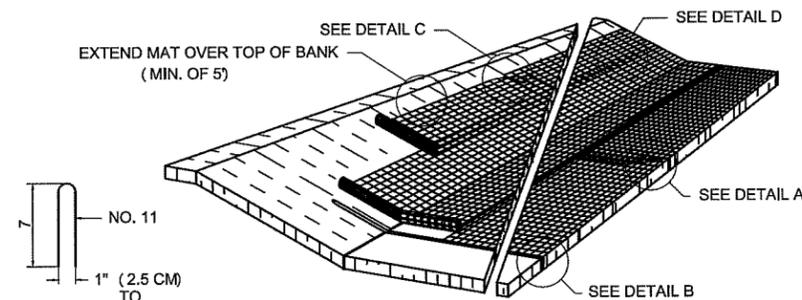
LAP JOINTS SHALL NOT BE PLACED IN THE BOTTOM OF V-SHAPED DITCHES.

JUNCTION SLOTS ON ADJACENT STRIPS OF MATTING SHALL BE STAGGERED A MINIMUM OF 4 FEET (1.219 m) APART.

EDGES OF THE EROSION MAT SHALL BE IMPRESSED IN THE SOIL.

EROSION MAT OVER SEEDING  
JUNCTION OR ANCHOR SLOTS SHALL BE AT MINIMUM INTERVALS OF 50 FEET.

STAPLE INSTALLATION AND PATTERNS SHALL COMPLY WITH EROSION MAT MANUFACTURER'S SPECIFICATIONS.



DETAIL OF  
TYPICAL STAPLE

- \* 6" (15.2 CM MIN. FOR LOOSE SOILS)
- 12" (30.5 CM MIN FOR LOOSE SOILS)
- 8" (20.3 CM MIN WHERE BOTH SOD AND MATS ARE BEING USED)

**EROSION CONTROL MAT**

N.T.S.

**GENERAL NOTES SILT FENCE**

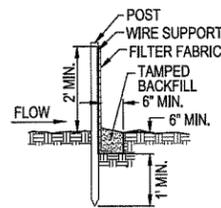
DETAIL OF CONSTRUCTION NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE STANDARD SPECIFICATIONS AND APPLICABLE SPECIAL PROVISIONS.

WHEN POSSIBLE THE SILT FENCE SHOULD BE CONSTRUCTED IN AN ARC OR HORSESHOE SHAPE, WITH THE ENDS POINTING UPSLOPE TO MAXIMIZE BOTH STRENGTH AND EFFECTIVENESS.

CROSS BRACE WITH 2"x4" WOODEN FRAME OR EQUIVALENT AT TOP OF POSTS AS DIRECTED BY THE ENGINEER.

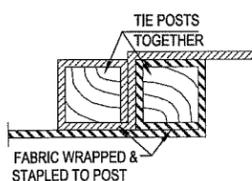
1. MINIMUM 14 GAGE WIRE REQUIRED, FOLD FABRIC 3" OVER THE WIRE AND STAPLE OF PLACE WIRE RINGS ON 12" C-C.
2. EXCAVATE A TRENCH A MINIMUM OF 4" WIDE & 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL & COMPACT TRENCH WITH EXCAVATED SOIL.
3. WOOD POSTS SHALL BE A MINIMUM SIZE OF 1-1/8"x1-1/8" OF OAK OR HICKORY.

**STANDARD INSTALLATION**



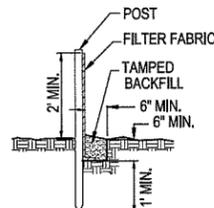
**NOTES:**

1. MIN. 2"x4" 4' LONG POST TO BE SPACED AT A MAX. OF 8'.
2. WIRE SUPPORT TO BE 14 GAGE MIN. WOVEN WIRE WITH MAX. MESH SPACING OF 6".
3. FILTER FABRIC TO BE MIRAFI 100 OR EQUAL.
4. POSTS DAMAGED ON DRIVING SHALL BE REPLACED.
5. EROSION CONTROL SHALL BE MAINTAINED DAILY.



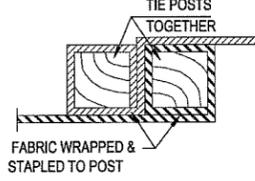
DETAIL FOR JOINING SECTIONS

**STANDARD INSTALLATION**

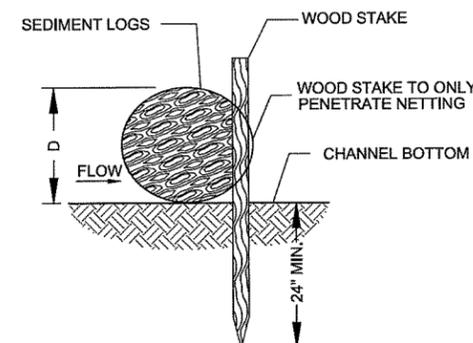
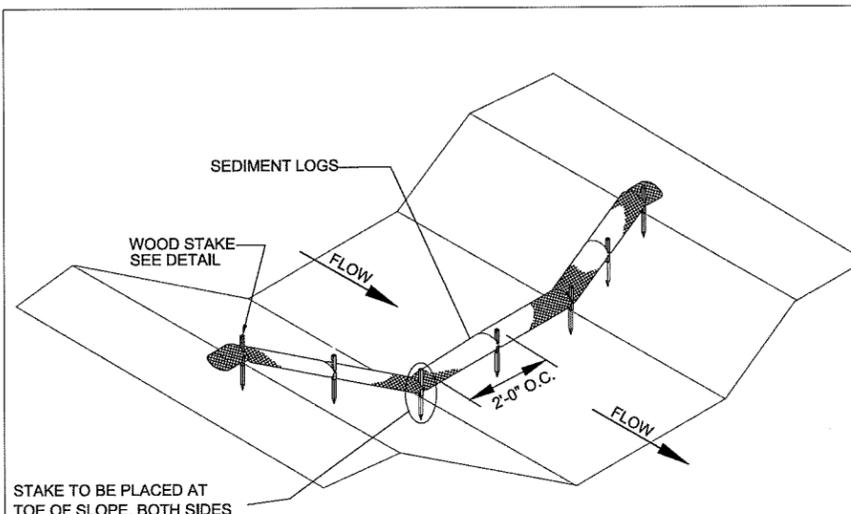


**NOTES:**

1. MIN. 2"x2" POST TO BE SPACED AT A MAX. OF 5'.
2. FILTER FABRIC TO BE MIRAFI 100 OR EQUAL.
3. POSTS DAMAGED ON DRIVING SHALL BE REPLACED.
4. EROSION CONTROL SHALL BE MAINTAINED DAILY.

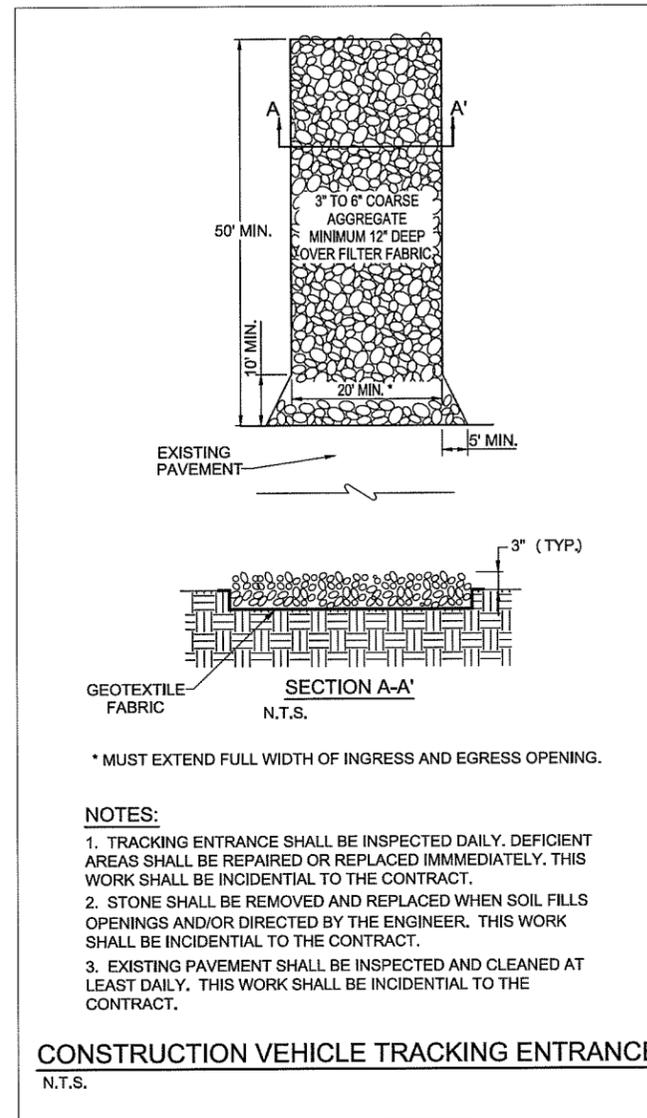


DETAIL FOR JOINING SECTIONS



**STAKE DETAILS**

N.T.S.



SECTION A-A'  
N.T.S.

\* MUST EXTEND FULL WIDTH OF INGRESS AND EGRESS OPENING.

**NOTES:**

1. TRACKING ENTRANCE SHALL BE INSPECTED DAILY. DEFICIENT AREAS SHALL BE REPAIRED OR REPLACED IMMEDIATELY. THIS WORK SHALL BE INCIDENTAL TO THE CONTRACT.
2. STONE SHALL BE REMOVED AND REPLACED WHEN SOIL FILLS OPENINGS AND/OR DIRECTED BY THE ENGINEER. THIS WORK SHALL BE INCIDENTAL TO THE CONTRACT.
3. EXISTING PAVEMENT SHALL BE INSPECTED AND CLEANED AT LEAST DAILY. THIS WORK SHALL BE INCIDENTAL TO THE CONTRACT.

**CONSTRUCTION VEHICLE TRACKING ENTRANCE**

N.T.S.

DRAWING PHASE:	OWNER REVIEW	AGENCY REVIEW	BID DOCUMENT	FOR CONSTRUCTION	AS-BUILT DOCUMENT
DRAWN BY:	ZPF				
CHECKED BY:	MDH				
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DWG FILE:	C7.0-Details				
REF FILE:	C7.0-Details				
JOB NUMBER:	E288-001				
REVISION PER CITY COMMENTS:	ZPF	11/07/16			
RELEASED FOR REVIEW:	ZPF	10/26/16			
REVISION DESCRIPTION:					
NAME:					
DATE:					

**BRANCH OFFICE**  
2820 Inlaco Street  
Suite 101  
Rudens, WI 54008  
Tel 715-381-5877

**CORPORATE OFFICE**  
408 Technology Drive East  
Suite A  
Menomonie, WI 54751  
Tel 715-232-8490

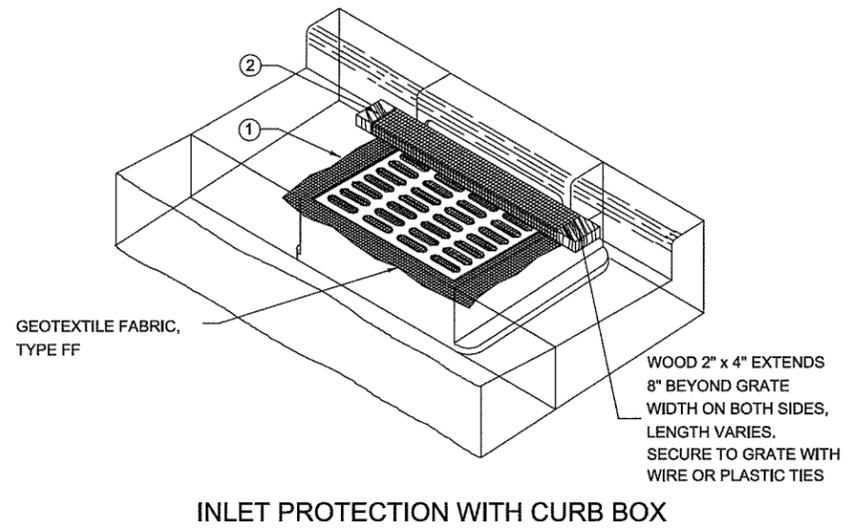


**Auth Consulting/associates**  
S&B Land Surveying a division of A.C/a

**A CROIX  
BOAT PROPERTIES, LLC  
OF PRESCOTT, WISCONSIN**

**DETAILS**

[ DISTANCE BETWEEN CHANNEL BOTTOM AND TOP CHANNEL ] X 100 = SEDIMENT LOGS SPACING ( FT )



**INLET PROTECTION WITH CURB BOX**

**GENERAL NOTES**

INLET PROTECTION DEVICES SHALL BE MAINTAINED OR REPLACED AT THE DIRECTION OF THE ENGINEER.

MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.

WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

- ① FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
- ② FOR INLET PROTECTION AT CURB BOX, AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
- ③ FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2X4.

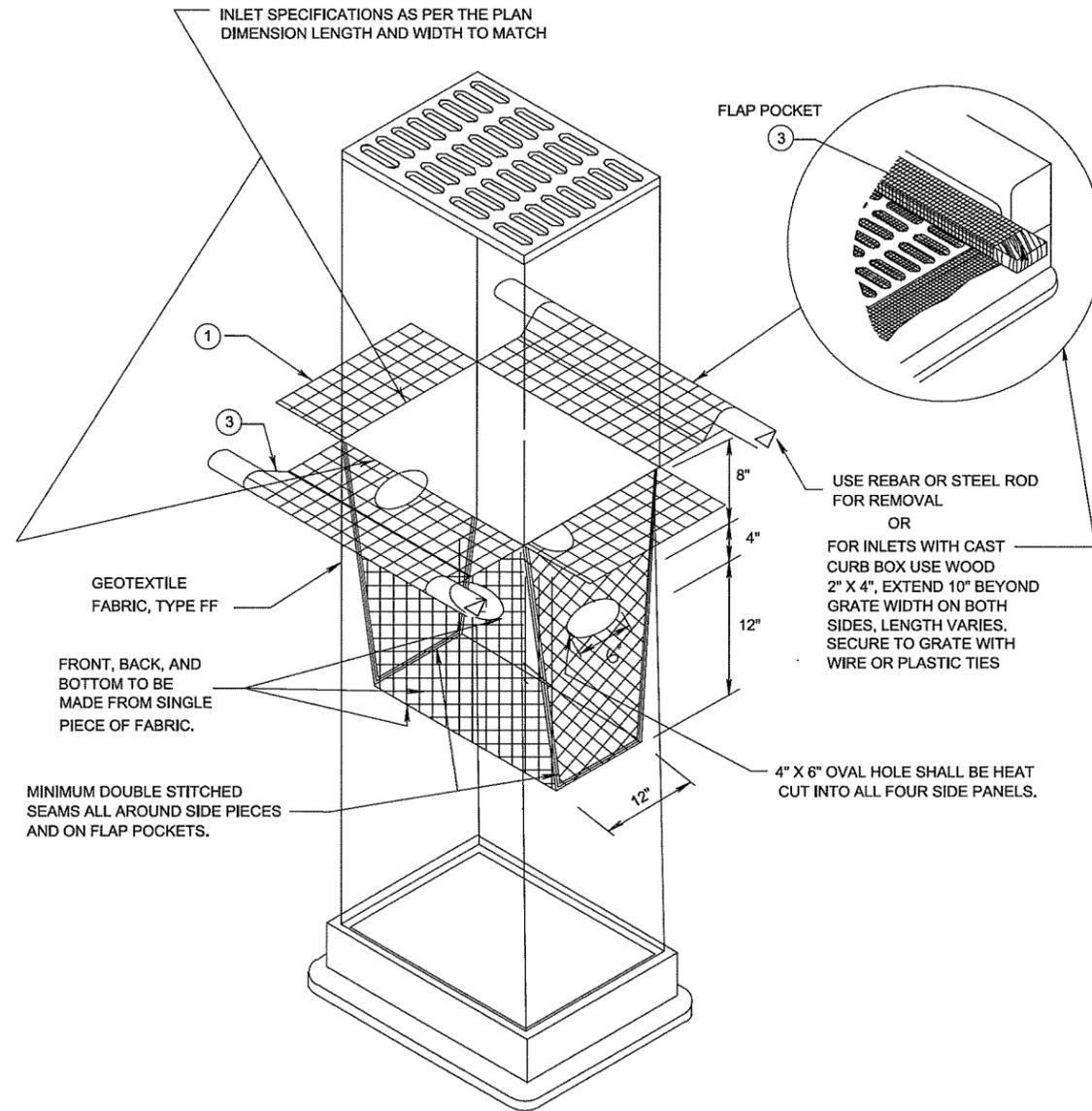
**INSTALLATION NOTES**

**TYPE D**

DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.

THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3", WHERE NECESSARY THE CONTRACTOR SHALL CINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.



**INLET PROTECTION, TYPE D**

( CAN BE INSTALLED IN ANY INLET TYPE WITH OR WITHOUT A CURB BOX AS PER NOTE ② )

**INLET PROTECTION DETAIL**  
N.T.S.

DRAWING PHASE:		OWNER REVIEW	BID DOCUMENT	FOR CONSTRUCTION	AS-BUILT DOCUMENT
OWNER REVIEW	AGENCY REVIEW	BID DOCUMENT	FOR CONSTRUCTION	AS-BUILT DOCUMENT	
X					
DRAWN BY: ZPF		CHECKED BY: MDH		DATE: 08/16/16	
DWG FILE: C7.0-Details		REF FILE: C7.0-Details		JOB NUMBER: 528B-001	
REVISED PER CITY COMMENTS		RELEASED FOR REVIEW		DATE: 11/07/16	
ZPF		ZPF		ZPF	
NAME:		REVISION DESCRIPTION:		DATE:	

**BRANCH OFFICE**  
2820 Kahoe Street  
Suite 101  
Fond du Lac, WI 54606  
Tel: 715-501-5877

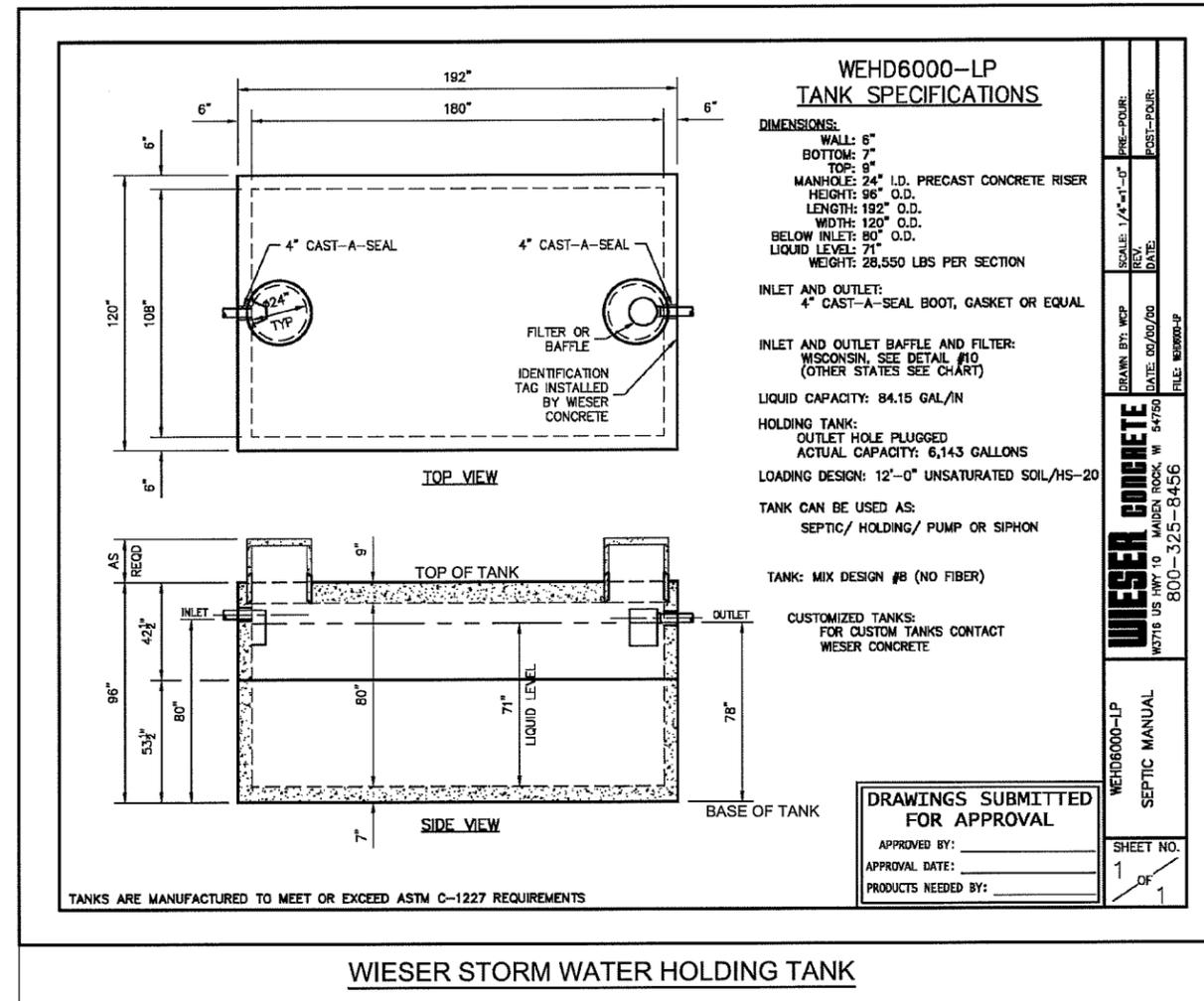
**CORPORATE OFFICE**  
408 Technology Drive East  
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Menomonie, WI 54751  
Tel: 715-252-4490  
auticonsulting.com

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S&W Land Surveying a division of A/C/a

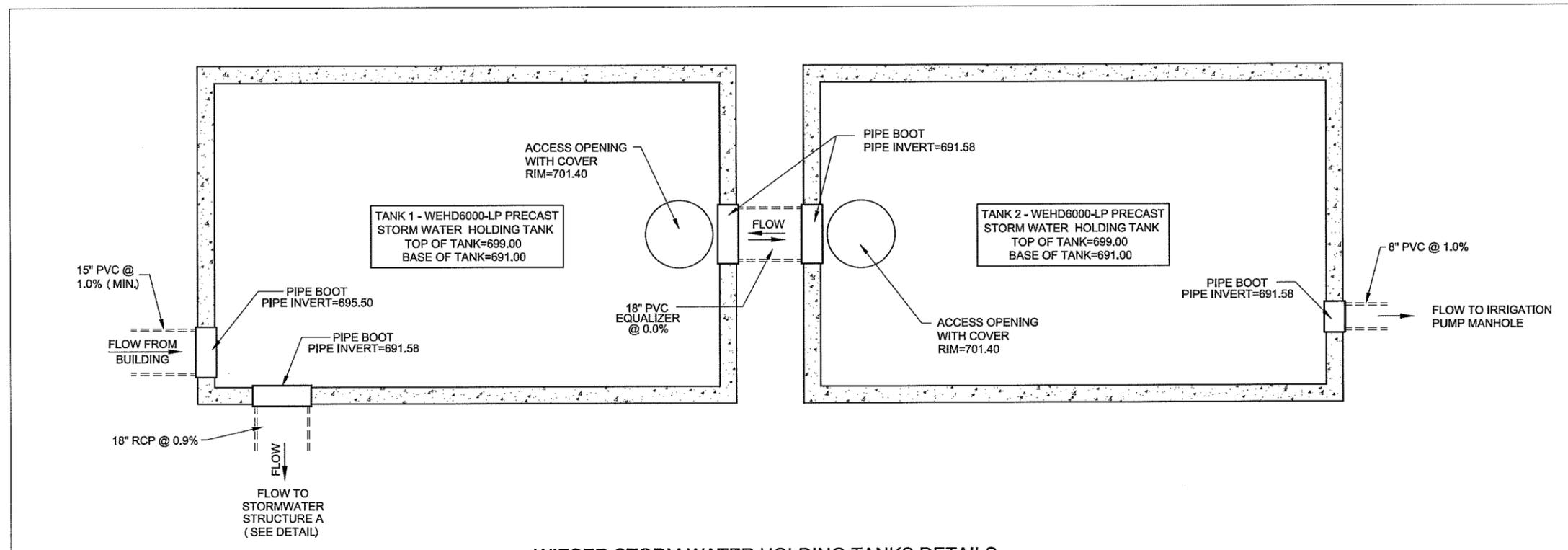
TA CROIX  
ERBOAT PROPERTIES, LLC  
OF PRESCOTT, WISCONSIN

**DETAILS**





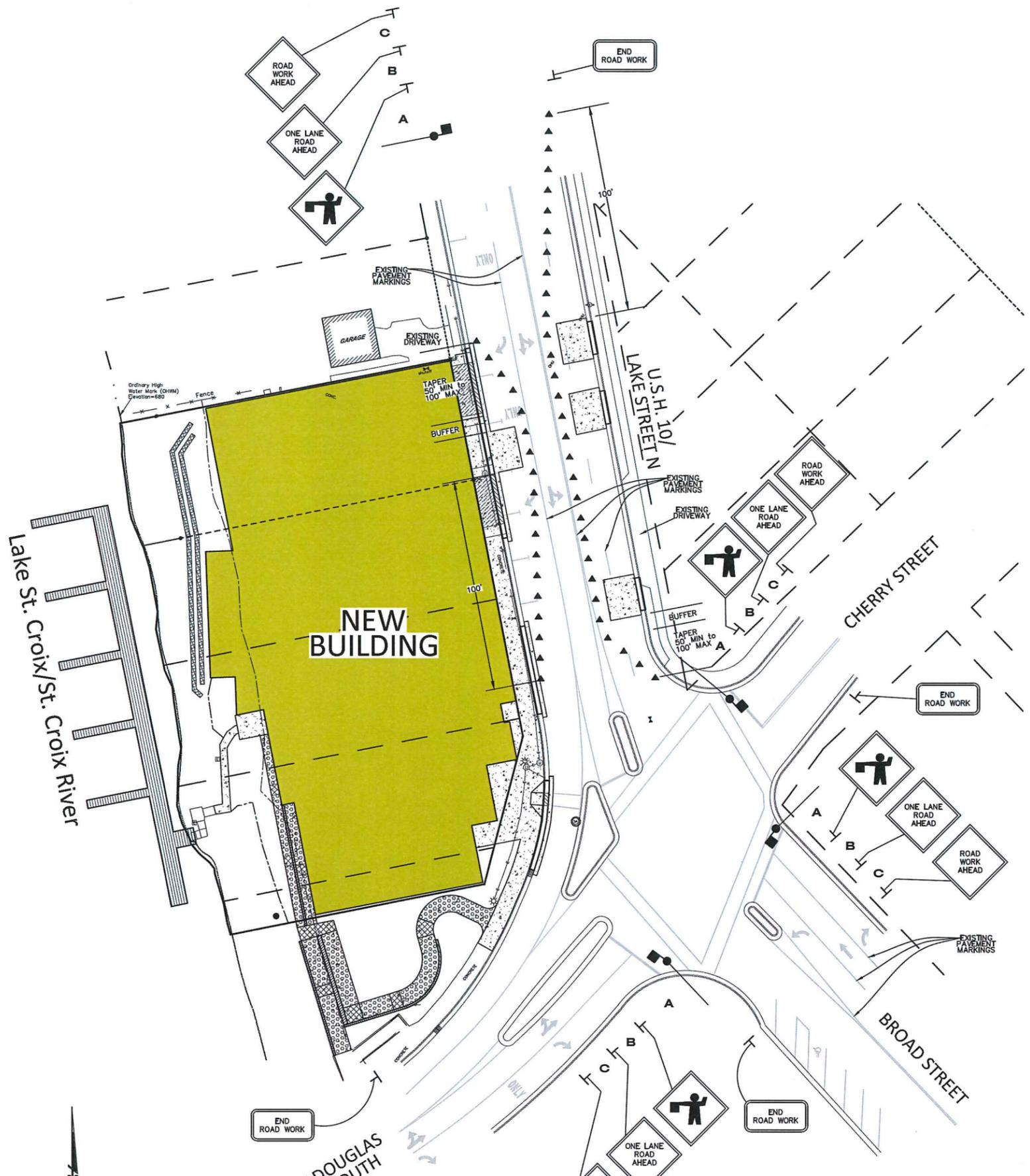
### WIESER STORM WATER HOLDING TANK



BRANCH OFFICE	2820 Shore Street Suite 101 Fond du Lac, WI 54606 Tel: 715-351-5277
CORPORATE OFFICE	400 Technology Drive East Suite A Menomonie, WI 54751 Tel: 715-232-9490 Fax: 715-351-5277 auticonsulting.com
<b>A/C/a</b> Auth • Consulting / associates SWM Land Surveying a division of A/C/a	

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	AGENCY REVIEW	CHECKED BY:	MDH
	BID DOCUMENT	DATE:	08/16/16
	FOR CONSTRUCTION	DWG FILE:	C7.0-Details
	AS-BUILT DOCUMENT	REF FILE:	C7.0-Details
		JOB NUMBER:	5288-001
		REVISION DESCRIPTION:	
		REVISED PER CITY COMMENTS	ZPF 11/07/16
		RELEASED FOR REVIEW	ZPF 10/26/16
		NAME	
		DATE	

TIA CROIX  
 ERBOAT PROPERTIES, LLC  
 OF PRESCOTT, WISCONSIN  
 DETAILS



**GENERAL TRAFFIC CONTROL NOTES**

- THE CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL FOR WORK WITHIN OR ADJACENT TO HIGHWAY ROW.
- THE TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH "THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES - CURRENT EDITION"
- THE EXACT LOCATION, AND SPACING OF ALL SIGNS & DEVICES SHALL BE ADJUSTED TO FIT FIELD CONDITIONS AS APPROVED BY THE ENGINEER.
- THE SPACING BETWEEN SIGNS SHOULD BE ADJUSTED NOT TO CONFLICT WITH & TO PROVIDE A MINIMUM OF 200' (500' DESIRABLE) CLEARANCE TO EXISTING SIGNS.
- ALL SIGNS ARE 48" X 48" UNLESS OTHERWISE NOTED.
- ALL ADVANCE WARNING SIGNS SHALL REMAIN IN PLACE DURING ALL STAGES OF CONSTRUCTION AND UNTIL COMPLETION OF THE RIGHT-OF-WAY WORK.
- ALL SIGNS ARE BLACK LETTERED WITH ORANGE BACKGROUND.
- "WO" IS THE SAME AS "W" EXCEPT THE BACKGROUND IS ORANGE.
- ANY SIGNS TEMPORARY OR EXISTING, WHICH CONFLICT WITH TRAFFIC CONTROL "IN USE" SHALL BE REMOVED OR CONVERTED AS NEEDED AND AS APPROVED BY THE ENGINEER, NO WARNING LIGHTS SHALL BE WORKING ON "COVERED" OR "DOWNED"
- LANE CLOSURES DURING DAYLIGHT HOURS ONLY.
- THE FLAGGERS SHALL USE APPROVED FLAGGING PROCEDURES ACCORDING TO THE MUTCD, CURRENT EDITION.
- SET THE BUFFER AREA LENGTHS BASED ON SPACE AT THE SITE. THE TOTAL LENGTH OF THE TEMPORARY TRAFFIC CONTROL ZONE MUST BE SHORT ENOUGH THAT DRIVERS CAN SEE APPROACHING TRAFFIC BEYOND THE WORK AREA.
- AS MUCH AS POSSIBLE, WORK SHALL NOT INTERFERE WITH THE RESIDENT'S AND BUSINESS'S ACCESS TO AND FROM THEIR PROPERTY. THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING RESIDENTS AND BUSINESSES OF TEMPORARY DISRUPTIONS OF ACCESS TO THEIR PROPERTY. ACCESS TO ALL DRIVEWAYS SHALL BE PROVIDED AT THE END OF EACH DAY.
- A MINIMUM OF A 10-FOOT TRAVEL LANE WIDTH SHOULD BE MAINTAINED.

**NOTE:**

1. CONTRACTOR TO FIELD VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION.
2. ALL PAVEMENT MARKINGS SHALL BE APPLIED PER WSDOT SPECIFICATIONS.

SPEED LIMIT (MPH)	SIGN SPACING A,B,C (FT)	BUFFER (FT)
25	200	155
30	200	200
35	350	250
40	350	305
45	500	360
50	500	425
55	500	495

**BRANCH OFFICE**  
 2820 Inbar Street  
 Hudson, WI 54016  
 Tel: 715-381-8277

**CORPORATE OFFICE**  
 408 Technology Drive East  
 Menomonie, WI 54751  
 Tel: 715-232-3480  
 auticonsulting.com

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FOR CONSTRUCTION	REF FILE: CB.0-Details
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REVISION DESCRIPTION:	ZPF NAME
	DATE: 11/07/16









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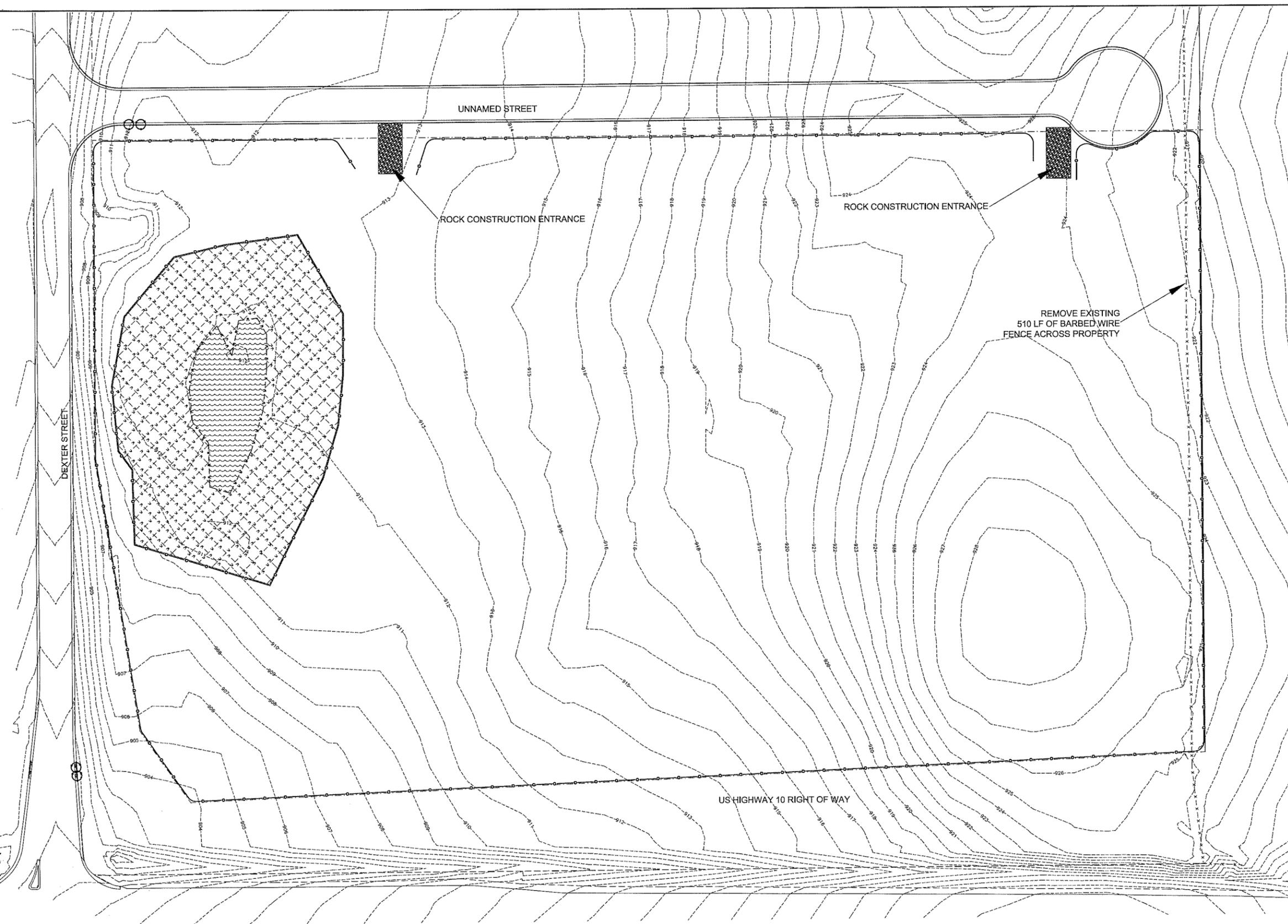
TOLL FREE (800) 242-8511  
14100 W National Ave,  
New Berlin, WI 53151

ITEM	DESCRIPTION	UNITS	TOTAL ESTIMATED QUANTITY
1	SILT FENCE	LF	3360
2	INLET PROTECTION	EA	4
3	ROCK CONSTRUCT ENT	EA	2

# LEGEND

## LEGEND

- DENOTES PROPOSED ROCK CONSTRUCTION ENTRANCE
- DENOTES PROPOSED SILT FENCE
- DENOTES PROPOSED INLET PROTECTION
- DENOTES EXISTING WETLAND
- DENOTES 75' WETLAND BUFFER AREA
- DENOTES EXISTING WETLAND DELINEATION
- DENOTES PROPERTY LINE
- DENOTES RIGHT OF WAY LINE
- DENOTES PROPOSED CHAINLINK FENCE
- DENOTES EXISTING CURB LINE
- DENOTES EXISTING CONTOUR OF ELEVATION



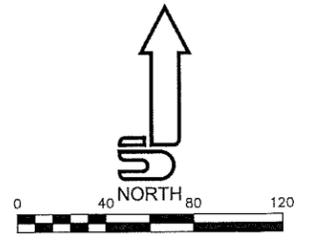
REMOVE EXISTING  
510 LF OF BARBED WIRE  
FENCE ACROSS PROPERTY

**EROSION CONTROL NOTES**  
DURING CONSTRUCTION, TOPSOIL WILL BE STRIPPED AND STOCKPILED. ALL TOPSOIL STOCKPILES WILL BE PROTECTED AGAINST EROSION BY USE OF SILT FENCE AND TARPING. AN ALTERNATIVE TO TARPING WOULD BE SEEDING WITH OATS OR RYE TO CREATE A TEMPORARY VEGETATIVE COVER RESISTANT TO EROSION.

**EROSION CONTROL NOTES**  
AS SOON AS POSSIBLE AFTER GRADING OPERATIONS HAVE BEEN COMPLETED, TOPSOIL SHALL BE SPREAD AND THE ENTIRE SITE SHALL BE SEEDED AND MULCHED AS SOON AS PRACTICABLE TO MINIMIZE EROSION. FINAL SITE STABILIZATION SHALL BE EVIDENT WHEN SEEDED GRASS IS PRESENT ON ALL EXPOSED GRADING AREAS AND HAS GROWN TO A LENGTH OF 6 INCHES AND THERE ARE NO SIGNS OF ONGOING EROSION. IF SOD IS PLACED IN-LIEU OF SEED, IT SHALL BE WATERED AND MAINTAINED AND SHOW NO SIGNS OF STRESS FOR AT LEAST 30 DAYS.

ALL SLOPES OF 3:1 OR GREATER SHALL HAVE AN EROSION CONTROL BLANKET INSTALLED AS SOON AS GRADING OPERATIONS HAVE BEEN COMPLETED.

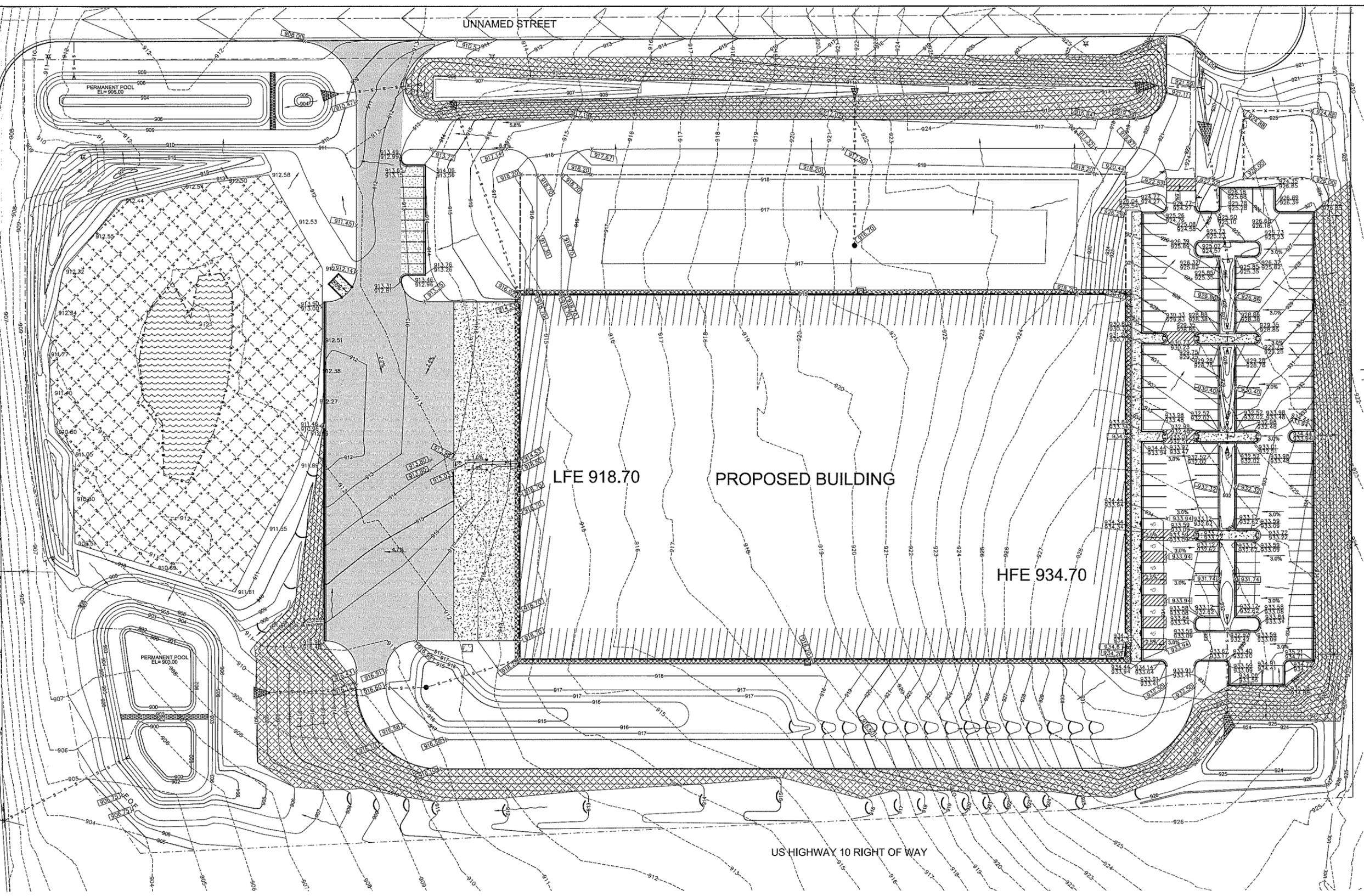
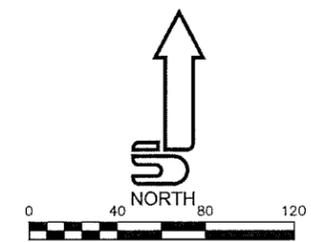
A CONCRETE WASHOUT AREA IS REQUIRED FOR ALL CONCRETE CONSTRUCTION. THE WASHOUT SYSTEM CAN BE A PORTABLE UNIT PROVIDED BY THE CONCRETE SUPPLIER OR AN IN-GROUND SYSTEM CONSTRUCTED BY THE CONTRACTOR. ONE ACCEPTABLE METHOD OF CREATING AN IN-GROUND WASHOUT PIT WOULD BE TO CONSTRUCT A TYPICAL 12" X 12" X 12" WASHOUT PIT WITH 10 LB OF ELASTIC AND PERIMETER ANCHORED WITH SAND.



CALL BEFORE YOU DIG  
**DIGGERS HOTLINE**  
 TOLL FREE (800) 242-8511  
 14100 W National Ave,  
 New Berlin, WI 53151

**LEGEND**

- DENOTES CENTERLINE OF ROAD
- DENOTES PROPERTY LINE
- DENOTES EXISTING ROAD RIGHT OF WAY LINE
- DENOTES EXISTING CURB AND GUTTER
- DENOTES EXISTING WETLAND
- DENOTES EXISTING WETLAND DELINEATION
- DENOTES 75' WETLAND BUFFER AREA
- DENOTES EXISTING CONTOUR WITH ELEVATION
- DENOTES PROPOSED CONCRETE CURB AND GUTTER
- DENOTES PROPOSED CONCRETE CURB AND GUTTER
- DENOTES PROPOSED TRAFFIC SIGN
- DENOTES PROPOSED PARKING STRIPING
- DENOTES PROPOSED HANDICAP PARKING SIGN
- DENOTES PROPOSED 6" BOLLARD
- DENOTES PROPOSED CHAINLINK FENCE
- DENOTES PROPOSED CONCRETE
- DENOTES PROPOSED HEAVY DUTY BITUMINOUS
- DENOTES PROPOSED LIGHT DUTY BITUMINOUS
- DENOTES PROPOSED SLOPE ARROW AND SLOPE PERCENTAGE
- DENOTES PROPOSED TOP OF CURB AND FLOWLINE ELEVATION
- DENOTES PROPOSED SPOT ELEVATION
- DENOTES FLOW DIRECTION ARROW
- DENOTES PROPOSED INDEX CONTOUR AND ELEVATION LABEL
- DENOTES PROPOSED CONTOUR AND ELEVATION LABEL
- DENOTES EXISTING CATCH BASIN
- DENOTES PROPOSED STORM SEWER, CATCH BASIN MANHOLE AND FLARED END SECTION
- DENOTES PROPOSED CLASS IV RIP RAP
- DENOTES PROPOSED WOOD FIBER BLANKET
- DENOTES PROPOSED FIBER LOG DITCH CHECK



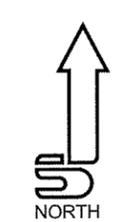
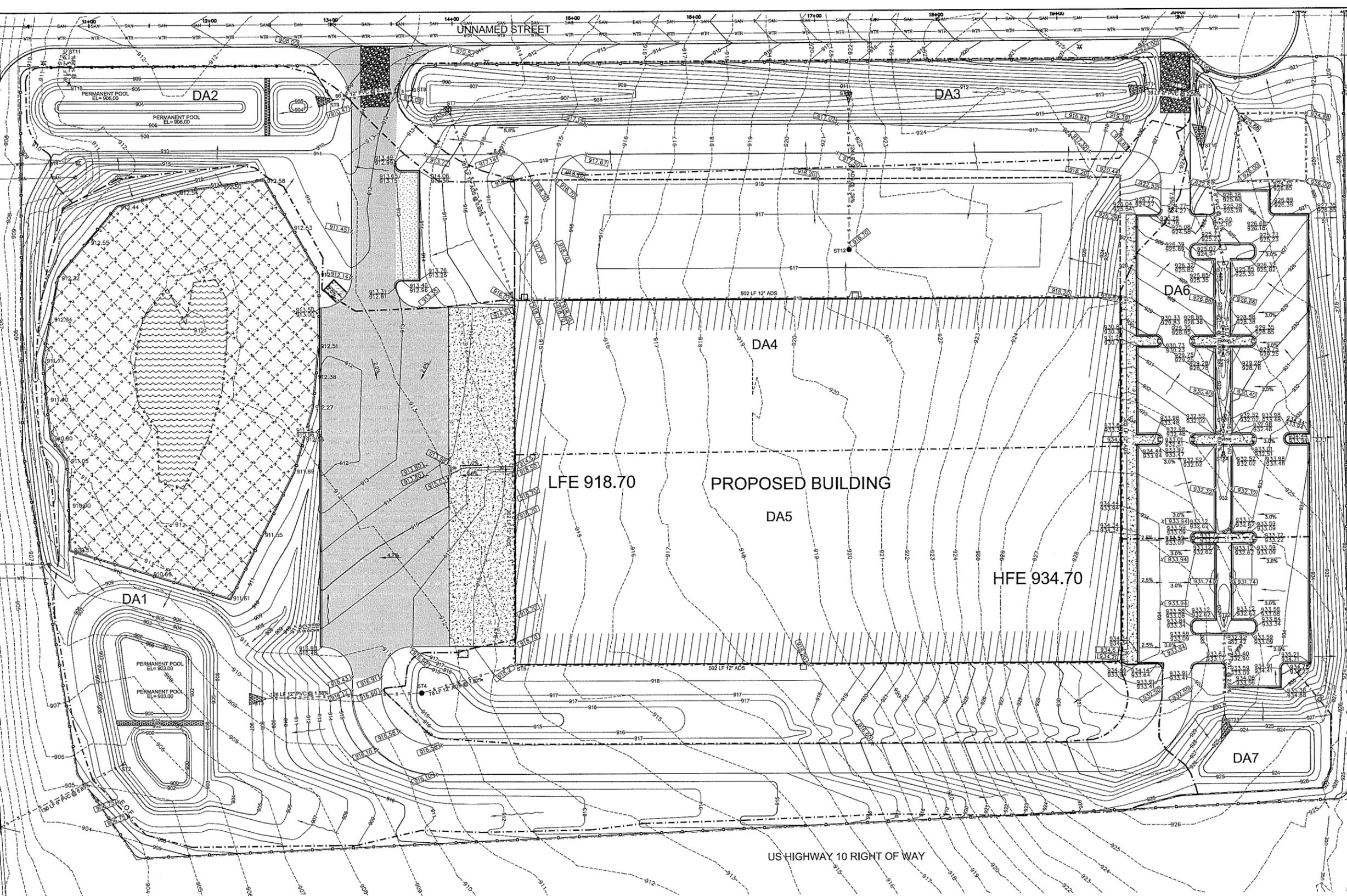
ITEM	DESCRIPTION	UNITS	TOTAL ESTIMATED QUANTITY
1	FIBER LOG DITCH CHECK	EA	38
2	CLASS IV RIP RAP	CY	50
3	WOOD FIBER BLANKET	SY	7525

PROPOSED CLASS IV RIP RAP

PROPOSED WOOD FIBER BLANKET

**GRADING NOTES:**

- BEFORE CONSTRUCTION BEGINS, SILT FENCE SHALL BE INSTALLED ALONG THE DOWN SLOPE SIDE OF THIS PROJECT AREA AND SHALL BE MAINTAINED AND REMAIN IN-PLACE UNTIL THE ENTIRE SITE IS STABILIZED.
- DURING CONSTRUCTION, TOPSOIL WILL BE STRIPPED AND STOCKPILED. ALL TOPSOIL STOCKPILES WILL BE PROTECTED AGAINST EROSION BY USE OF SILT FENCE AND TARPING. AN ALTERNATIVE TO TARPING WOULD BE SEEDING WITH OATS OR RYE TO CREATE A TEMPORARY VEGETATIVE COVER RESISTANT TO EROSION.
- ALL SLOPES OF 3:1 OR GREATER SHALL HAVE AN EROSION CONTROL BLANKET INSTALLED AS SOON AS GRADING OPERATIONS HAVE BEEN COMPLETED.
- AS SOON AS POSSIBLE AFTER GRADING OPERATIONS HAVE BEEN COMPLETED, TOPSOIL SHALL BE SPREAD AND THE ENTIRE SITE SHALL BE SEEDED AND MULCHED AS SOON AS PRACTICABLE TO MINIMIZE EROSION. FINAL SITE STABILIZATION SHALL BE EVIDENT WHEN SEEDING GRASS IS PRESENT ON ALL EXPOSED GRADING AREAS AND HAS GROWN TO A LENGTH OF 6 INCHES AND



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**LEGEND**

- DENOTES CENTERLINE OF ROAD
- DENOTES PROPERTY LINE
- DENOTES EXISTING ROAD RIGHT OF WAY LINE
- DENOTES EXISTING CURB AND GUTTER
- DENOTES EXISTING WETLAND
- DENOTES EXISTING WETLAND DELINEATION
- DENOTES 75' WETLAND BUFFER AREA
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- DENOTES PROPOSED CHAINLINK FENCE
- DENOTES PROPOSED CONCRETE
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- DENOTES PROPOSED LIGHT DUTY BITUMINOUS
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- DENOTES PROPOSED CONTOUR AND ELEVATION LABEL
- DENOTES EXISTING CATCH BASIN
- DENOTES PROPOSED STORM SEWER, CATCH BASIN MANHOLE AND FLARED END SECTION

**STORM SEWER NOTES**

ST1 INV.=896.75	ST2 INV.=903.00	ST3 INV.=908.00	ST4 RM=915.50 INV.=910.00	ST5 INV.=911.50
ST6 INV.=911.50	ST7 INV.=919.00	ST8 INV.=910.00	ST9 INV.=909.5	ST10 INV.=907.00
ST11 INV.=903.00	ST12 RM=916.70 INV.=912.70	ST13 INV.=911.00	ST14 INV.=917.00	ST15 INV.=919.00
ST16 INV.=921.00	ST17 INV.=924.00	ST18 INV.=925.50	ST19 INV.=927.00	ST20 INV.=929.10

**DRAINAGE AREA NOTES**

DA 1 4.98 ACRES 31.7% IMPERVIOUS C=62 TC=10.5 MIN	DA 2 0.99 ACRES 28.9% IMPERVIOUS C=81 TC=35 MIN	DA 3 2.6 ACRES 60.4% IMPERVIOUS C=83 TC=7.8 MIN	DA 5 4.41 ACRES 77.8% IMPERVIOUS C=83 TC=43 MIN	DA 6 1.54 ACRES 46.8% IMPERVIOUS C=85 TC=5.1 MIN	DA 7 0.98 ACRES 38.4% IMPERVIOUS C=83 TC=4.6 MIN
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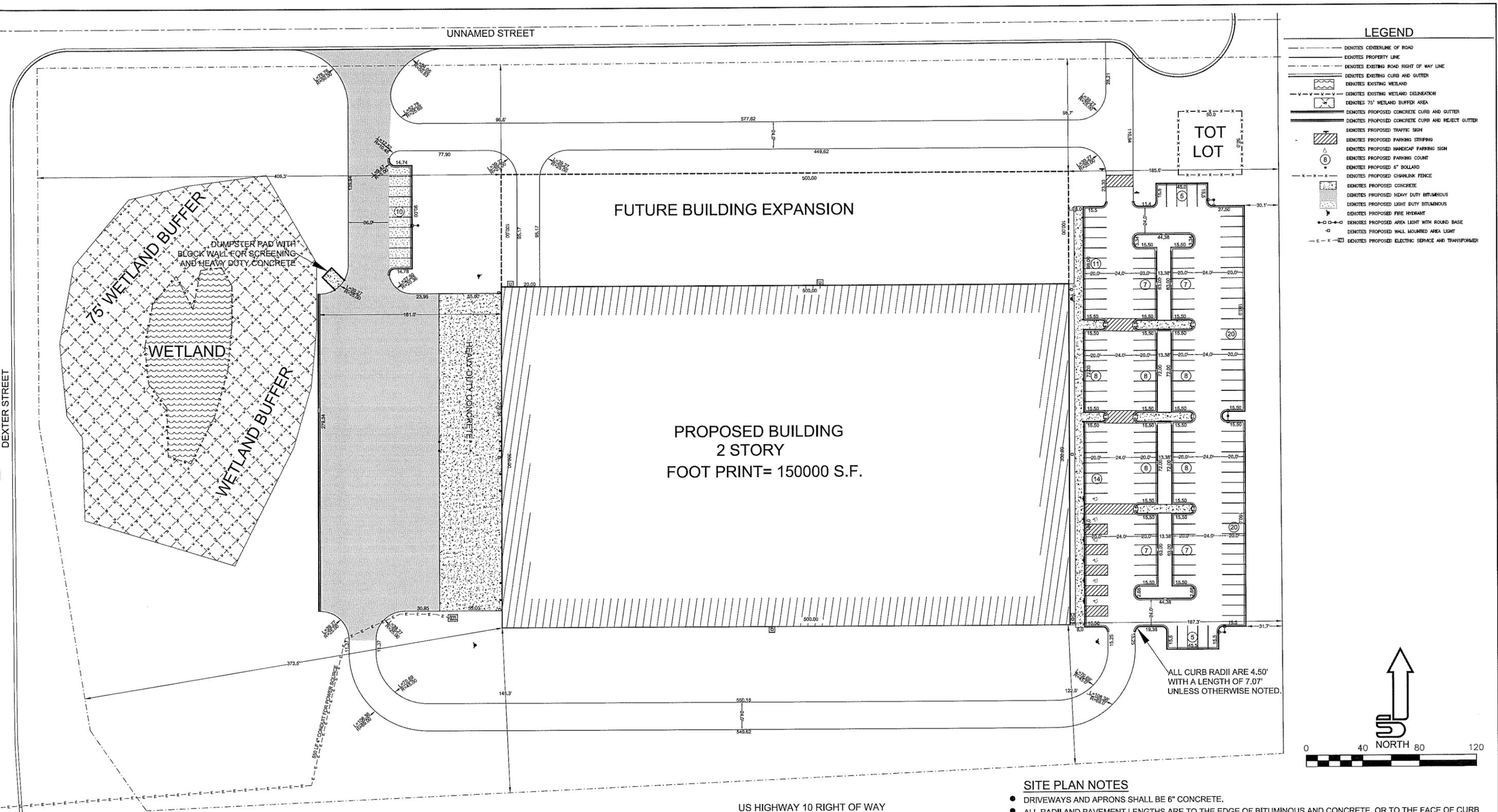
TOTAL AREA=.....15.72 ACRES  
 TOTAL IMPERVIOUS AREA=.....7.99 ACRES (49.2%)

**PRE DEVELOPMENT RUNOFF**

DA	Q2 CFS	Q10 CFS	Q100 CFS
HIGHWAY 10 DITCH CULVERT	10.17	21.84	57.02

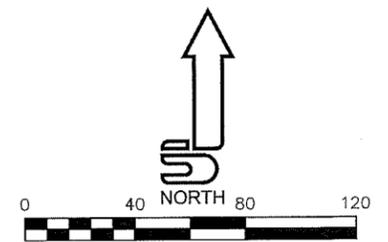
**POST DEVELOPMENT RUNOFF**

	Q(CFS)	Q2 CFS	Q10 CFS	Q100 CFS
HIGHWAY 10 DITCH CULVERT	0	0	0	12.88
DEXTER STREET CATCH BASIN	3.22	5.04	7.21	
CULDESAC DRIVE CATCH BASIN	0.14	1.30	4.99	
TOTAL POST DEVELOPMENT FLOWS	3.36	6.34	25.08	
REDUCTION FROM EXISTING	67%	71%	56%	



**LEGEND**

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- DENOTES PROPOSED CONCRETE
- DENOTES PROPOSED HEAVY DUTY BITUMINOUS
- DENOTES PROPOSED LIGHT DUTY BITUMINOUS
- DENOTES PROPOSED FIRE HYDRANT
- DENOTES PROPOSED AREA LIGHT WITH ROUND BASE
- DENOTES PROPOSED WALL MOUNTED AREA LIGHT
- DENOTES PROPOSED ELECTRIC SERVICE AND TRANSFORMER



US HIGHWAY 10 RIGHT OF WAY

**PARKING**  
 PER CITY OF PRESCOTT CHAPTER 635-56  
 REQUIRED FOR MANUFACTURING ..... 1 SPACE PER 3 EMPLOYEES  
 TOTAL PROVIDED ..... 153 STALLS INCLUDING 6 ADA

**SITE AREAS**  
 TOTAL ..... 15.72 ACRES  
 PROPOSED IMPERVIOUS ..... 6.72 ACRES (43%)  
 PERVIOUS ..... 9.00 ACRES (57%)

**SITE PLAN NOTES**

- DRIVEWAYS AND APRONS SHALL BE 6" CONCRETE.
- ALL RADII AND PAVEMENT LENGTHS ARE TO THE EDGE OF BITUMINOUS AND CONCRETE, OR TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- BUILDING DIMENSIONS MUST BE VERIFIED WITH ARCHITECTURAL DRAWINGS. IN THE EVENT OF A DISCREPANCY ARCHITECTURAL DIMENSIONS SHALL BE USED.

**STRIPING NOTES**

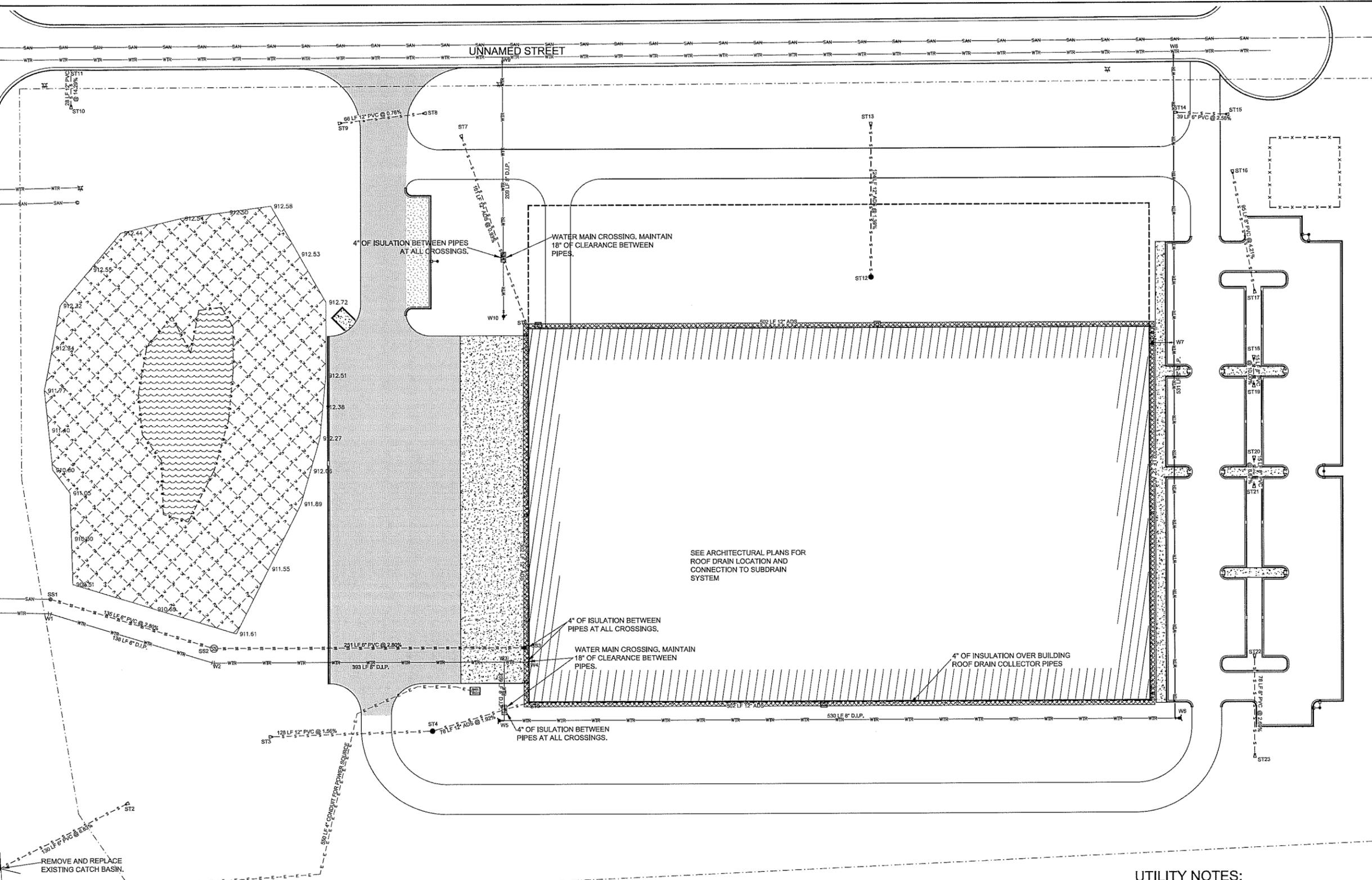
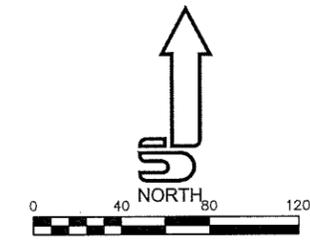
- STANDARD STALL DIMENSIONS ARE 9' WIDE BY 20' LONG. ALL STALL SIZES SHALL COMPLY WITH PRESCOTT CITY CODE SECTION 635-56.
- STRIPE 3 HANDICAP (HC) SYMBOLS. STRIPE ADJACENT 8' NO-PARKING SPACES. PLACE HC SIGNS ON STEEL POST BEHIND CURB 60 TO 66 INCHES ABOVE PARKING SURFACE TO BOTTOM OF SIGN. HC SPACES SHALL ADHERE TO 28 CFR PART 36. ADA STANDARDS FOR ACCESSIBILITY DESIGN 4.6.



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- DENOTES EXISTING CONTOUR WITH ELEVATION
- DENOTES EXISTING CATCH BASIN
- DENOTES EXISTING SANITARY SEWER LINE
- DENOTES EXISTING STORM SEWER LINE
- DENOTES EXISTING WATER LINE
- DENOTES EXISTING FIRE HYDRANT AND GATE VALVE
- DENOTES EXISTING SANITARY SEWER MANHOLE
- DENOTES PROPOSED WATER MAIN, FIRE HYDRANT, AND GATE VALVE
- DENOTES PROPOSED SANITARY SEWER, CLEAN OUT, AND MANHOLE
- DENOTES PROPOSED STORM SEWER, CATCH BASIN MANHOLE, AND FLARED END SECTION
- DENOTES PROPOSED ELECTRIC SERVICE AND TRANSFORMER
- DENOTES PROPOSED AREA LIGHT WITH ROUND BASE
- DENOTES PROPOSED WALL MOUNTED AREA LIGHT
- DENOTES PROPOSED CONCRETE CURB AND GUTTER
- DENOTES PROPOSED CONCRETE CURB AND REJECT GUTTER
- DENOTES PROPOSED CHAINLINK FENCE
- DENOTES PROPOSED CONCRETE
- DENOTES PROPOSED HEAVY DUTY BITUMINOUS
- DENOTES PROPOSED LIGHT DUTY BITUMINOUS
- DENOTES 4" INSULATION



REMOVE AND REPLACE EXISTING CATCH BASIN.

US HIGHWAY 10 RIGHT OF WAY

**WATER SERVICE NOTES**

- W-1 REMOVE PLUG CONNECT AND EXTEND F&I 8" 1 1/4" BEND
- W-2 F&I 8" 1 1/4" BEND
- W-3 END 6" DIP WATER SERVICE TO BUILDING VERIFY LOCATION WITH ARCHITECTURAL PLANS
- W-4 CONNECT 6" WATER SERVICE TO BUILDING VERIFY LOCATION WITH ARCHITECTURAL PLANS
- W-5 F&I 8"x8"x6" TEE F&I 4 LF 6" DIP BRANCH MAIN F&I HYDRANT AND VALVE
- W-6 F&I 8"x8"x6" TEE F&I 4 LF 6" DIP BRANCH MAIN F&I HYDRANT AND VALVE
- W-7 F&I 8"x8"x6" TEE F&I 4 LF 6" DIP BRANCH MAIN F&I HYDRANT AND VALVE
- W-8 F&I 8"x8"x6" TEE F&I VALVE
- W-9 F&I 8"x8"x6" TEE F&I VALVE
- W-10 F&I HYDRANT AND VALVE

**SANITARY SEWER NOTES**

- SS1 CONNECT TO EXISTING SANITARY SERVICE- LOCATION MUST BE FIELD VERIFIED F&I 48" MANHOLE RM=910.50 W INV=894.90 SE INV=895.00
- SS2 F&I 48" MANHOLE RM=907.00 NG INV=895.77 W INV=898.87
- SS3 END SANITARY SERVICE AT BUILDING-VERIFY LOCATION WITH ARCHITECTURAL PLANS

**STORM SEWER NOTES**

ST1 INV=896.75	ST2 INV=903.00	ST3 INV=908.00	ST4 RM=915.50 INV=910.00	ST5 INV=911.50	ST6 INV=911.50	ST7 INV=910.00
ST8 INV=910.00	ST9 INV=909.5	ST10 INV=907.00	ST11 INV=903.00	ST12 RM=916.70 INV=912.70	ST13 INV=911.00	ST14 INV=917.00
ST15 INV=919.00	ST16 INV=921.00	ST17 INV=924.00	ST18 INV=925.50	ST19 INV=927.00	ST20 INV=929.10	ST21 INV=930.10

**UTILITY NOTES:**

- ALL WATER SERVICE PIPE SHALL BE DUCTILE IRON WITH MECHANICAL JOINTS, AND MAINTAIN A MINIMUM COVER OF 8".
- 6" PVC SERVICE PIPE SHALL BE SDR-26
- ABS OR PVC STORM DRAINS MUST COMPLY WITH WISCONSIN SPS 384.30
  - A. PIPES 4" TO 10" IN SIZE MUST COMPLY WITH AASHTO M252.
  - C. ALL FITTINGS MUST COMPLY WITH ASTM D3212.
  - D. WATERTIGHT JOINTS MUST BE USED AT ALL CONNECTIONS INCLUDING STRUCTURES.
- A MINIMUM HORIZONTAL SEPARATION OF 10 FEET MUST BE MAINTAINED BETWEEN WATER SERVICE AND ANY SEWER WHENEVER POSSIBLE. A MINIMUM VERTICAL SEPARATION OF 18 INCHES MUST BE MAINTAINED BETWEEN WATER SERVICE AND ANY SEWER.
- 4" OF INSULATION SHALL BE INSTALLED AT ALL STORM CROSSINGS, AND ABOVE ALL ROOF DRAIN ADS PIPE ALONG BUILDING.



1810 Crest View Drive, Suite 1C  
Hudson, WI. 54016  
715-377-2152

December 19, 2016\*

Jayne Brand, Administrator  
City of Prescott

Dear Jayne:

Enclosed are the new contract for 2017, updated insurance information, and our WI Building Inspector licenses. Please note two changes to the new contract listed below:

**#2 Reports/Records** under 2a: Added "Fees for copies are \$.25 per page. Incurred costs to be paid to All Croix Inspections Corp. by requestor as described under Wis. stat. 19.35 (3.)" This covers incurred costs from outside companies and websites requesting all building permit data as their right based on the "Freedom of Information Act." The All-Croix Inspections, Corp. policy remains the same in that any requestor must schedule an appointment to review any municipal building permit information at our office.

**# 5. Compensation.** Fee change. 2015 Wisconsin ACT 211 requires that by January 2, 2018 all new home permit applications will be submitted electronically by the municipality or the municipality's agent; therefore, the new pricing structure reflects the increased cost of office time and software to submit permit applications to the state. The Plan Review / Administrative fee has decreased from prior year. All-Croix Inspections, Corp. maintains responsibility for the electronic submittal. Additional information, fees, and fee increases on the new contract reflect standard operating procedures including; "Permit to start Footing and Foundation," "WI State Seal," and additional verbiage addressing "Refunds" and "Re-inspection Fee." Commercial Building fee increases in the new contract reflect the additional time and additional requirements needed to inspect Commercial Buildings.

Please let me know if you would like my attendance at the next Council meeting. Otherwise please sign and date, keep one copy, and return a copy of the signature page to me. If you would like an electronic copy for your records, please let me know. Thank you for your time.

Sincerely,

A handwritten signature in black ink, appearing to read "Todd Dolan", written over a horizontal line.

Todd Dolan  
All-Croix Inspections  
tdolan@allcroix.com

## **AGREEMENT FOR BUILDING INSPECTION SERVICES**

### **City of Prescott Pierce County, Wisconsin**

**THIS AGREEMENT** is made by and between the City of Prescott, Pierce County, Wisconsin, a municipal corporation (hereinafter "City") and All Croix Inspections Corp. The purpose of this agreement is to appoint All Croix Inspections Corp. as the Building Inspector to provide, on an as needed basis, building inspections within the City to ensure compliance with the applicable building and zoning codes and other ordinance requirements.

**WHEREAS**, the City is in need of an inspector certified to inspect building for building code compliance, and

**WHEREAS**, All Croix Inspections Corp. is an Inspection Agency certified to hire licensed inspectors to inspect buildings for code compliance; and

**WHEREAS**, the City and All Croix Inspections Corp. desire to commit the terms of their agreement to writing.

**NOW THEREFORE**, the City and All Croix Inspections Corp., in consideration of the mutual promised hereinafter set forth, do promise and agree as follows:

1. Services. The City hereby appoints All Croix Inspections Corp., an Inspection agency to serve the City on an as needed basis as herein provided, in such a manner and capacity to meet the needs of the City and to provide the following services:
  - A. Review building plans and application for building permits;
  - B. Inspect new construction and existing commercial and dwelling units for building code compliance in the following areas:
    1. Construction
    2. Plumbing
    3. Electrical
    4. Heating, Ventilating and Air Conditioning
    5. Energy Conservation
    6. Footing
    7. Foundation
    8. Drain Tile
    9. Basement Floor Base Course
    10. Under Slab Vapor Barrier
    11. Site Erosion Control / Setbacks
    12. Final / Occupancy
  - C. Issue orders to correct discrepancies in building code violations;
  - D. Make reports of Inspections as more particularly set out in par 2.
  - E. Consult with and advise builders, owners and residents of the City pertaining to building codes and ordinances:

- F. Keep abreast of current developments in the field by attending seminars and courses at no cost to the City.
- G. Attend meetings of the City Planning Commission and other appropriate Council, Committees and Commissions upon request.
- H. Help administer and enforce the City Zoning Ordinance.

2. Reports/Records. During the term of this contract, All Croix Inspections Corp. Shall;

- a. Develop and maintain property files including all plans, applications, permits, forms and inspection reports. Files will be returned to City annually, upon completion of final occupancy inspections. All files shall be deemed public records and open to public inspection during normal business hours. Fees for copies are \$.25 per page. All incurred costs to be paid to All Croix Inspections Corp. by requestor as described under Wis. Stat 19.35 (3).
- b. Provide the City on a monthly basis and as otherwise requested a list of inspections made for the pertinent periods.
- c. Provide reports, documents and files relating to building inspections to the City Zoning Administrator as may be requested from time to time.

3. Items Provided by All Croix Inspections Corp., at their expense related to the performance of this contract:

- a. A direct telephone line to allow scheduling of inspections by contractors and others without City personnel involvement.
- b. All necessary secretarial support for maintaining files and allowing public accesses while in the possession of All Croix Inspections Corp.
- c. All code books, manual and inspection equipment.
- d. All necessary professional organization dues, training, and certification.
- e. Licensed and insured vehicle for use in carrying out the contract.
- f. Carry General Liability, Workers Compensation, and Professional Liability Insurance against any claim, which might occur in carrying out this agreement.
- g. All required state forms and seals.

4. Items provided by City to All Croix Inspections Corp., during the term of this contract.

- a. Assistance with legal counsel associated with any litigation, administrative proceedings or any other matter arising out of the performance of this contract by All Croix Inspections Corp.
- b. Delivery of plans and other items filed with the City by parties requiring services of All Croix Inspections Corp. pursuant to this contract.

5. Compensation in consideration of the services to be performed by All Croix Inspections Corp., hereunder, City shall pay All Croix Inspections Corp.:
- a. Administrative Fee: \$25.00 per permit application.  
(NOTE: Re-roofing and Re-siding permits exempt from Administrative Fee)
  - b. New One & Two Family Dwelling Construction: \$850.00 flat fee plus \$.10 per square foot. See footnote <sup>(a)</sup> below
  - c. Manufactured Assembled Home to be placed upon a permanent basement foundation: \$600.00 flat fee plus \$.10 per square foot. See footnote <sup>(a)</sup> below
  - d. Manufactured Assembled Home to be placed upon a slab, piers, or non - permanent foundation: \$500.00 flat fee.
  - e. New Commercial Building: \$950.00 flat fee plus \$.20 per square foot on the first 10,000 square feet of finished space and \$.10 per square foot on any remaining finished space, all unfinished space, and all attached structures that are part of the submitted plan such as an attached garage, deck, or porch.
  - f. Any building cost (additions, alterations, or remodeling) \$100,000.00 or over will be considered new construction (above b. - e.). Building cost will be measured according to the previous year's RS Means Square foot costs, if applicable.
  - g. Any building cost (additions, alterations, or remodeling) under \$100,000.00 will be charged per inspection type, types listed under Services 1. B. Fees for One and Two Family Dwellings will be \$60.00 per inspection type and fees for Commercial Buildings will be \$125.00 per inspection type, number to be determined by building inspector at plan review. Building Cost will be measured according to the previous year's RS Means Square foot costs, if applicable.
  - h. Permit to start Footing & Foundation only: \$200.00 flat fee. To continue beyond Footing & Foundation, the fee schedule for inspection and plan review of new construction (above a.-g) will be charged.
  - i. WI State Seal; \$35.00. New Single and Two Family Dwelling Construction as well as for all Manufactured Homes produced on or after April 1, 2007.
  - j. Renewal Fees shall be half the original permit fee, minimum \$50.00 and maximum \$250.00.
  - k. Double Fees will be charged for all work started without a permit.
  - l. Re-inspection fee. \$100.00 per extra inspection trip charge over standard. Two inspection trips for each type listed under Service 1.B are standard. Note: "pre-finals", project not ready for inspection, failure to cancel inspection at least one hour prior to scheduled time, storage or personal items blocking necessary inspection areas, and no access to site and/or building will also be considered an inspection trip.
  - m. Refunds. Amount paid less Plan Review/ Administrative Fee (a.) or actual costs, whichever is greater. No refund given after work has started or after 180 days of date of permit issuance.

*(a) Square foot total is based on all finished space, unfinished space and attached structures that are part of the submitted plan, such as an attached garage, deck, or porch.*

6. Other services. Any other services requested by the City not mentioned above (5) will be negotiated and appropriate revisions to the services and compensation will be included in the future.
7. Term of agreement. The term of this agreement shall commence January 1, 2017 and shall continue until January 31, 2018 in accordance with this agreement.
8. Termination of Agreement. Either party upon 30 days written notice to the other party may terminate this agreement without cause. All such notices shall be by certified mail or delivered personally.
9. Status of Inspector. Both parties acknowledge that the relationship created by this agreement is that of independent contractor for purposes of compensation and not that of employee and employee. As building inspector it is intended that All Croix Inspections Corp., shall be considered an agent and official of the City for the purposed of all applicable statutes, ordinances, and regulations and shall have the authority to act on behalf of the City for building inspection purposes. All Croix Inspections Corp. shall be responsible for compliance with all laws and for the payment of any taxes levied upon him as a result of his compensation under this agreement.
10. Notice. Any notice required or permitted to be given under this agreement shall be given in writing either by personal delivery or by certified mail, postage prepaid, addressed to the parties at the following addresses or at such other addresses as either may designate on written notice:

City of Prescott  
800 Borner Street  
Prescott, WI 54021

All Croix Inspections Corp.  
1810 Crestview Dr. #1C  
Hudson, WI 54016

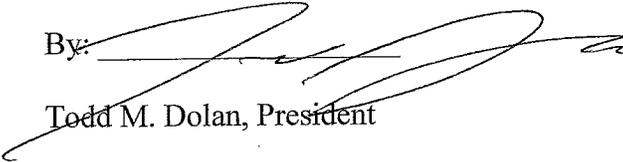
11. Waiver of Breach. The waiver by the City of the breach of any provision of this agreement by All Croix Inspections Corp. shall not be deemed a waiver by the City of any subsequent breach.
12. Assignment. This Agreement shall not be assignable by All Croix Inspections Corp. without the written consent of the City.
13. Governing Law. This Agreement and all questions arising in connection herewith shall be governed by the laws of the State of Wisconsin.
14. Entire Agreement. This contract contains the entire agreement between the parties regarding this matter. This agreement can only be modified by another written agreement signed by parties and their respective heirs, legal representatives, successors and assigns.

IN WITNESS WHEREOF, the parties have executed this Agreement on this \_\_\_\_\_ Day  
of \_\_\_\_\_, Year 2017.

**City of Prescott, WI**

**All Croix Inspections Corp.**

By: \_\_\_\_\_

By:  \_\_\_\_\_

Dave Hovel, Mayor

Todd M. Dolan, President

Witness: \_\_\_\_\_

Jayne Brand, City Administrator

# FOCUS

11.30.2016 • No. 24

## New state report raises curtain on Wisconsin's 2017-19 budget prospects

Wisconsin's budget process kicks off every two years in November when the state releases an initial revenue forecast and summarizes agency spending requests. The latest edition of the November report shows growth in tax collections slowed last year and this year, and will continue at modest annual rates of 2% to 3% into 2019. This year, state spending exceeds ongoing revenues by \$226 million.

Every other year in the week before Thanksgiving, state government must by law provide a snapshot of its current and future fiscal prospects. Issued by Wisconsin's Department of Administration (DOA), the "November 20" report kicks off a process that lasts seven or eight months, culminating in a state budget for the next two years.

### The report, the process

DOA's latest report, released on November 21, included state tax revenue forecasts for the next 30 months, recapped the current status of the general fund, and summarized agency spending requests for the upcoming biennium. With this information, the governor will begin finalizing his 2017-19 budget.

The budget process then unfolds quickly:

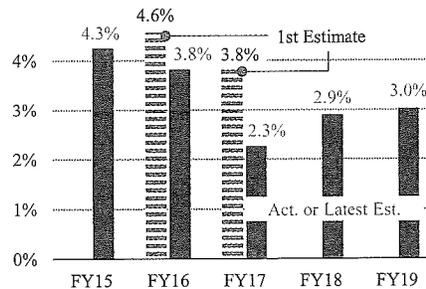
- The Legislative Fiscal Bureau (LFB) updates revenue forecasts in late January;
- The governor usually unveils his budget in early February;
- The legislature's 16-member Joint Committee on Finance (JCF) then devotes the next four months to reviewing and reworking the governor's budget;
- Ideally, the state senate and assembly consider the budget in June; and
- The governor signs or vetoes it in July.

### Tax revenue outlook

According to a Department of Revenue (DOR) forecast included in the new report, growth in general fund tax collections continues to slow.

### Wis. Gen'l Fund Taxes Slowing, 2014-19

Ann. Growth: First vs. Actual or Latest Estimates



The LFB had previously scaled back tax projections in January 2015 and 2016. These reductions reflect the U.S. slowdown foreseen by the Federal Reserve Bank (see July 29 *Focus*).

As the graph above illustrates, general fund tax collections grew 4.3% in the 2014-15 fiscal year (FY15). Last year, they were initially projected to rise 4.6% but increased only 3.8%. Likewise, revenue growth for FY17 was first estimated at 3.8% but has now been reduced to 2.3%. The 2017-19 forecast projects yearly growth of at most 3.0%.

### State Gen'l Fund "Softening?" (\$m)

FY17 Rev. Estimate; 2017-19 Forecast/Requests

	Revised FY17	2017-19 Pending	
		FY18	FY19
Open. Bal.	331.0	104.8	-145.2
Revenues			
Taxes	15,440.2	15,888.1	16,370.1
Other	510.2	475.2	443.5
Tot. Avail.	16,281.5	16,468.1	16,668.4
Approp's			
Gross	17,015.0	17,032.9	17,032.9
Adjustm'ts	-838.3	-419.6	223.5
Net	16,176.7	16,613.3	17,256.4
Ending Bal.	104.8	-145.2	-588.0
% Net App.	0.6	-0.9	-3.4

When these annual growth rates are combined into two-year budget periods, the challenge the state faces in preparing the 2017-19 budget is evident. In the current 2015-17 biennium, tax growth was to approach 8.8% over the prior two years but is now expected to come in at 7.2%. DOR's initial estimate for 2017-19 has collection growth slowing further to 5.6% (close to 3.0% per year).

### Spending benchmarks

In addition to revenue expected during 2017-19, two fiscal "benchmarks" from the current year (FY17) are relevant to developing a budget for the next two.

One is the ending balance, which becomes the surplus carried over to the next year. As shown below, that figure is \$104.8 million (m), or 0.6% of net appropriations. This is a slim cushion: only about two days of state spending. And, at 0.6% of expenditures, it is the smallest balance in seven years—and smaller than the state's 2008 pre-recession surplus (see Capitol Notes, over).

A second benchmark is the revenue-expenditure imbalance in FY17. Estimated net spending this year is \$16,176.7m, while on-going revenues are projected to be \$15,950.4m. In other words, state government is spending \$226m more than it is bringing in.

Not included in this amount is over \$100m in this year's spending that will—through an accounting "trick" involving payment of school property tax credits—not have to be funded until

2017-18. Correctly accounted for, this expenditure would put the state on the brink of deficit. It would also mean that state government has a larger revenue-spending imbalance in FY17: about \$330m, instead of \$226m.

### On deficits, spending requests

When revenues exceed expenditures in one year, that does not necessarily mean the state is running a deficit, since carryover surplus can cover the difference. However, such an imbalance eventually has to be addressed through either more revenue or less spending. State law requires Wisconsin state budgets be balanced.

That is why 2017-19 budget figures in the new DOA report (final two columns, table, p. 1) need to be viewed cautiously. They suggest state deficits reaching \$588m by the end of FY19. Headline writers are tempted to incorrectly tell readers: "State to run deficit."

At this juncture, however, spending for the next two years is based only on requests. Governors and legislators don't automatically grant them. Indeed, for the last decade or more, state finances have been sufficiently tight that requests were often scaled back or denied.

Of the pending requests, two are sure to be scrutinized. One is from the

Department of Public Instruction (DPI) that, significantly, is headed by an elected superintendent not appointed by the governor. For 2017-19, DPI is requesting budget increases over two years that total almost \$447m; most of which goes to additional K-12 school aids.

Another \$336m of new expenditure requests come from Department of Health Services, home to the costly and fast-growing Medicaid program, which serves low-income and disabled people.

These two areas alone already account for over half of general fund spending and, for 2017-19, almost all new spending requests. □



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## Capital Notes

■ The state's new report outlining spending requests and revenue estimates contains two figures regarding financial reserves that deserve qualification.

The first notes that the state surplus of \$331.0 million at the start of this year was "the fourth-largest opening balance in 16 years." Because state spending continues to grow, a better historical comparison might use percentages (see p.1, col. 3).

A second statistic in the report points out that the Budget Stabilization ("rainy day") fund has grown appreciably. What isn't said is that: (1) fund amounts were virtually nil for decades; (2) the only "rainy day" deposits made were mandated by state law; and (3) no deposits have been made in the past three years.

■ Other figures in the report worth mention: (1) A forecast of real GDP growth at just over 2% is historically low; and

(2) inflation is expected to accelerate to 2.4% over the next three years. The "i-word" — back from hiatus?

■ Louisiana's joint house-senate budget committee has learned it faces a \$313 million budget gap—the Pelican State's 14th mid-year deficit since 2008-09. Louisiana's fiscal problems go back to Hurricane Katrina. But, as the AP reports: "Each year, a new gap appeared because the structural imbalance was never repaired."